

Our Vision - The City of Weldon Spring fosters a premier Community that is a safe place to live and enjoy life.



**CITY OF WELDON SPRING
BOARD OF ALDERMEN REGULAR MEETING
ON THURSDAY, NOVEMBER 9, 2023, AT 7:30 P.M.
WELDON SPRING CITY HALL
5401 INDEPENDENCE ROAD
WELDON SPRING, MISSOURI 63304**

******TENTATIVE AGENDA******

A NOTICE IS HEREBY GIVEN that the Regular Board of Aldermen Meeting will be in person at 5401 Independence Road Weldon Spring, Missouri, 63304. Also, the public can attend virtually by video-conference and/or audio-conference call, you may attend the meeting on a desktop, laptop, mobile device, or telephone by following the highlighted instructions below.

Link to join Zoom Video-Conference Meeting:

<https://us02web.zoom.us/j/8163394872?pwd=aUdVRUtdRUdBTVFXeUJUMEtHbm5DZz09>

**Meeting ID: 816 339 4872
Password: WS.BOA**

Or by telephone dial: 1-312-626-6799

**Meeting ID: 816 339 4872
Password: 886581**

Our Vision - The City of Weldon Spring fosters a premier Community that is a safe place to live and enjoy life.

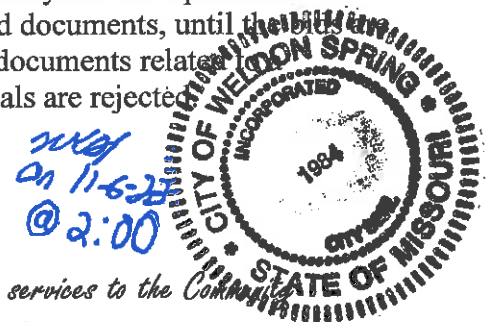
******BOARD OF ALDERMEN REGULAR AGENDA – 11/9/23 at 7:30 PM******

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL and DETERMINATION OF A QUORUM**
- 4. CITIZENS COMMENTS**
- 5. PUBLIC HEARING:**
 - A.** Consideration of an amendment of the Area Plan for a development known as New Perspective of Weldon Spring a “Nursing & Residential Care Facility” at 400 Siedentop Road
 - B.** Consideration of proposed amendments to the City of Weldon Spring’s Zoning regulations pertaining to front entry garages, billboards, electronic billboards and temporary signage
- 6. CITY TREASURER’S PACKET**
 - A.** Paid Bills (October 20, 2023 – October 5, 2023)
 - B.** Credit Card Bill (September 2023)
- 7. UNFINISHED BUSINESS**
- 8. NEW BUSINESS**
 - A.** An Ordinance Approving the Amended Area Plan for New Perspective of Weldon Spring (2 Readings) – **Alderman Baker**
 - B.** An Ordinance Amending Section 405.430 (B) (7) of the City of Weldon Spring, Missouri, Municipal Code and Matters Relating Thereto (Front Entry Garages) – **Alderman Martiszus**
 - C.** An Ordinance Amending Sections 415.080 (J) & 415.110 (A) of the City of Weldon Spring, Missouri, Municipal Code and Matters Relating Thereto (Temporary Signage) – **Alderman Yeager**
 - D.** An Ordinance Amending Sections 415.020, 415.080 (C), & 415.090 (B) of the City of Weldon Spring, Missouri, Municipal Code and Matters Relating Thereto (Electronic Billboards) – **Alderman Yeager**
- 9. REPORTS & COMMITTEES**
 - A.** Public Safety Report – **SCCPD Representative**
 - B.** Parks & Recreation Advisory Committee (PRAC) Report – **Alderman Martiszus**
 - C.** Finance Committee Report – **Alderman Yeager**
 - D.** City Attorney Report
 - E.** City Administrator Report – **City Administrator**
- 10. RECEIPTS & COMMUNICATIONS**
- 11. CLOSED SESSION**

In Accordance with **RSMo Section 610.021**, the Board of Aldermen will go into Closed Session during this meeting for the purpose of discussing Paragraph (1) - legal actions, cause of action or litigation involving a public governmental body and any confidential or privileged communications between a public governmental body and its representatives and its attorneys and Paragraph (12) – sealed bids and related documents, until the bids are opened; and sealed proposals and related documents or any documents related to a negotiated contract until a contract is executed, or all proposals are rejected
- 12. ADJOURNMENT**

PAGE 2 OF 2

Our Mission - The City of Weldon Spring will provide premier public services to the Community with integrity, transparency, and fiscal responsibility.



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT the City of Weldon Spring's Planning & Zoning Commission at its regular meeting on Monday, November 6, 2023, and the Board of Aldermen at its regular meeting on Thursday, November 9, 2023, will conduct Public Hearings to consider an application for the amendment of an Area Plan filed on October 17, 2023, by Faeq Hussain of "Weldon Springs RE, LLC," known as New Perspective of Weldon Spring a "Nursing & Residential Care Facility" at 400 Siedentop Road.

Both Public Hearings will be held in the Board Room at Weldon Spring City Hall, 5401 Independence Road, Weldon Spring, Missouri at 7:30 p.m.

All interested parties are invited to appear and be heard at the time and date of said Public Hearing or to submit written comments to the City Clerk at City Hall or bhanks@weldonspring.org. Case documentation will be provided to the applicant electronically.

For additional information please contact Bill Hanks, City Clerk, City of Weldon Spring, at (636) 441-2110 (ext. 103) or bhanks@weldonspring.org.

NOTICE OF PUBLIC HEARING

CITY OF WELDON SPRING

NOTICE OF PUBLIC HEARING City of Weldon Spring

NOTICE IS HEREBY GIVEN THAT given that the City of Weldon Spring will conduct a Public Hearing before the Planning & Zoning Commission on Monday, November 6th, 2023, at 7:30 P.M. in the Weldon Spring City Hall located at 5401 Independence Road, Weldon Spring, Missouri, and before the Board of Aldermen on Thursday, November 9th, 2023, at 7:30 P.M. in the Weldon Spring City Hall located at 5401 Independence Road, Weldon Spring, Missouri, concerning proposed amendments to the City's Zoning regulations, made in conformance with State Statutes and to update various zoning regulations (**pertaining to front entry garages, billboards, electronic billboards, and temporary signage**).

The public is invited to attend. Also, written comments are welcome and should be submitted to the City Clerk, Bill Hanks at bhanks@weldonspring.org. Anyone with disabilities needing assistance should contact City Hall at 636-441-2110 before the Hearing to make accommodations to attend.

For additional information please contact Steve Lauer, City Planner, at 636-441-2110 – ext. 106. Copies of all the proposed amendments are available for public inspection at the Weldon Spring City Hall and online at www.weldonspring.org.

**NOTICE OF PUBLIC HEARING
CITY OF WELDON SPRING**

**PAID BILLS TO BE APPROVED
OCTOBER 20, 2023 -- NOVEMBER 2, 2023**

CHECKS ARE DATED 9/29/2023 THRU 10/25/2023

EXCEPT FOR THE ITEMS NOTED, THE ATTACHED LIST IS APPROVED BY THE BOARD OF ALDERMAN FOR PAYMENT. APPROVED THIS
9TH DAY OF NOVEMBER 2023 _____, MAYOR

10/18/2023 THRU 11/2/2023

ACCOUNTS PAYABLE CLAIMS REPORT

VENDOR	REFERENCE	GL ACCT NO	AMOUNT	CHECK #	CHECK DATE
DELTA DENTAL OF MISSOURI	EMPLOYEES DENTAL INSURANCE	10-02-2110	\$ 118.72	9755	10/25/2023
DELTA DENTAL OF MISSOURI	EMPLOYEES DENTAL INSURANCE	10-10-5130	\$ 226.26	9755	10/25/2023
DIMENSIONAL SECURITY SYSTEMS	Q1 FY24 ALARM MONITORING	20-20-5256	\$ 48.00	9757	10/25/2023
MOLD ONE MISSOURI	MOLD TESTING INDOORS	20-20-5241	\$ 5,040.00	9758	10/25/2023
PURITAN SPRING WATER	BOTTLE WATER	20-20-5255	\$ 25.10	10240009	10/25/2023
ST CHARLES COUNTY GOVERNMENT	Q3 2023 ROAD PROGRAM	23-23-5445	\$ 57,700.00	16789	9/29/2023
UNITED HEALTHCARE	EMPLOYEE HEALTH INS	10-02-2110	\$ 878.00	9754	10/20/2023
UNITED HEALTHCARE	EMPLOYEE HEALTH INS	10-10-5132	\$ 3,704.01	9754	10/20/2023
WEX BANK	FLEET GAS CARD	20-20-5237	\$ 235.39	9756	10/25/2023
Accounts Payable Total			\$ 67,975.48		

PAID CREDIT CARD BILLS TO BE APPROVED
10/23 (September charges)

EXCEPT FOR THE ITEMS NOTED, THE ATTACHED LIST IS APPROVED BY THE BOARD OF ALDERMAN FOR PAYMENT. APPROVED THIS
9TH DAY OF NOVEMBER 2023

Mastercard
23-Oct
SEPTEMBER CHARGES

Account #	Account Description	BOB	MITCHELL	HOWIE	MICHAEL	TOTAL
10.10.5201	Meals & Travel		\$ 57.52		\$ 800.00	\$ 57.52
10.10.5203	Training and Education					\$ 800.00
10.10.5324	Consultant - Software		\$ 12.99			\$ 12.99
20.20.5237	Park Equipment-Repairs/Maint	\$ 120.90	\$ 75.79	\$ 169.00		\$ 365.69
20.20.5243	Parks General Supplies	\$ 126.87		\$ 154.14		\$ 281.01
20.20.5560	Non-Capital Equip City Hall	\$ 644.26				\$ 644.26
20.20.5563	Non-Capital Equip Park		\$ 235.49			\$ 235.49
TOTAL		\$ 892.03	\$ 381.79	\$ 323.14	\$ 800.00	\$ 2,396.96

1	P MAYORS LUNCHEON SUPPLIES	10-10-5201	MEALS-TRAVEL-LOGGING	57.52	10	5310
2	P PALZ TRAINING 2 ATTENDEES	10-10-5203	TRAINING & EDUCATION COSTS	800.00	10	5310
3	P CANVA DESIGN SOFTWARE RECUR	10-10-5324	SOFTWARE SUBSCRIPTIONS/SUPPC	12.99	12	5310
4	P REPL BELT MOWER	20-20-5237	PARK EQUIPMENT-REPAIRS/MAINT	120.90	20	5310
5	P GASOLINE FOR TRUCK	20-20-5237	PARK EQUIPMENT-REPAIRS/MAINT	75.79	20	5310
6	P REPROCATING SAW BLADES - EQ	20-20-5237	PARK EQUIPMENT-REPAIRS/MAINT	169.00	20	5310
7	P HAND SOAP -BARN	20-20-5243	PARKS -GENERAL SUPPLIES	126.87	20	5310
8	P TORK GET/CHANGE AIR FILTERS	20-20-5243	PARKS -GENERAL SUPPLIES	9.97	20	5310
9	P TRASH BAG/LINERS	20-20-5243	PARKS -GENERAL SUPPLIES	75.41	20	5310
10	P FITTINGS FOR WATER SOFTENER	20-20-5243	PARKS -GENERAL SUPPLIES	64.64	20	5310
11	P BOLTS/SIGN INSTALLATION	20-20-5243	PARKS -GENERAL SUPPLIES	4.12	20	5310
12	P WATER SOFTENER & SALT	20-20-5560	EQUIPMENT-CITY HALL NON-CAPTA	544.26	20	5310
13	P BASEBALL BASES	20-20-5563	EQUIPMENT-PARK NON-CAPITAL	96.03	20	5310
14	P FIRE EXTINGUISHERS	20-20-5563	EQUIPMENT-PARK NON-CAPITAL	94.20	20	5310
15	P CREEPER	20-20-5563	EQUIPMENT-PARK NON-CAPITAL	43.17	20	5310



BUDGET REPORT

CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
GENERAL FUND						
GENERAL DEPARTMENT DEPARTMENT						
10-10-4801	FRANCHISE FEES - CHARTER	67,000.00	14,547.97	14,547.97	21.71	52,452.03
10-10-4802	FRANCHISE FEES - CUIVRE RIVER	236,000.00	20,989.83	20,989.83	8.89	215,010.17
10-10-4803	FRANCHISE FEES - SPIRE GAS	84,500.00	4,573.24	4,573.24	5.41	79,926.76
10-10-4804	FRANCHISE FEES - AMERENUE	76,500.00	10,102.40	10,102.40	13.21	66,397.60
10-10-4805	FRANCHISE FEES-SYMMETRY ENERGY	500.00				500.00
10-10-4806	FRANCHISE FEES - AT&T	18,000.00	3,925.00	3,925.00	21.81	14,075.00
10-10-4814	PERMITS - GRADING	1,750.00	150.00	150.00	8.57	1,600.00
10-10-4815	PERMITS - LAND USE	13,500.00	1,200.00	1,200.00	8.89	12,300.00
10-10-4816	PERMITS - FIREWORKS	20,000.00				20,000.00
10-10-4817	PERMITS - PLANNING & ZONING	6,500.00				6,500.00
10-10-4818	PERMITS - SIGNS	1,000.00				1,000.00
10-10-4819	PERMITS - SOLICITORS	350.00				350.00
10-10-4831	LICENSES - BUSINESS	6,250.00	1,270.00	1,270.00	20.32	4,980.00
10-10-4832	LICENSES - LIQUOR	7,500.00	750.00	750.00	10.00	6,750.00
10-10-4901	INTEREST - GENERAL	17,500.00	556.44	556.44	3.18	16,943.56
10-10-4905	INTEREST CD/MOSIP - GENERAL	104,761.00				104,761.00
10-10-4951	RECORDS/PLAN REQUEST	250.00				250.00
10-10-4952	MISC -GENERAL-REVENUE	2,500.00				2,500.00
GENERAL DEPARTMENT TOTAL		664,361.00	58,064.88	58,064.88	8.74	606,296.12
CODE ENFORCEMENT/COURT DEPARTMENT						
10-16-4991	CRT COSTS-CLERK FEE-MUNI & E/R	6,500.00	1,644.00	1,644.00	25.29	4,856.00
10-16-4992	FINE-MUNI ORDN OTHER & E/R	38,000.00	12,615.00	12,615.00	33.20	25,385.00
10-16-4997	BOND FORFEITURE		300.00	300.00		300.00
CODE ENFORCEMENT/COURT TOTAL		44,500.00	14,559.00	14,559.00	32.72	29,941.00
PARK IMPROVEMENT DEPARTMENT						
TOTAL REVENUE		708,861.00	72,623.88	72,623.88	10.25	636,237.12
GENERAL DEPARTMENT DEPARTMENT						
10-10-5101	GOVERNMENT SALARIES	7,800.00				7,800.00
10-10-5103	STAFF WAGES	288,270.00	20,765.10	20,765.10	7.20	267,504.90
10-10-5123	FICA	22,649.00	1,607.41	1,607.41	7.10	21,041.59
10-10-5126	UNEMPLOYMENT TAXES	287.00				287.00
10-10-5127	LAGERS BENEFIT	14,791.00	1,023.32	1,023.32	6.92	13,767.68
10-10-5130	DENTAL INSURANCE BENEFITS	4,010.00	226.26	226.26	5.64	3,783.74
10-10-5131	LIFE INSURANCE EMP BENEFIT	3,173.00	222.00	222.00	7.00	2,951.00
10-10-5132	HEALTH INS BENEFIT(GROUP PLAN)	58,338.00	3,704.01	3,704.01	6.35	54,633.99
10-10-5134	MEDICARE STIPEND	4,200.00	350.00	350.00	8.33	3,850.00
10-10-5135	CITY OFFICIAL APPRECIATION	1,000.00				1,000.00
10-10-5201	MEALS-TRAVEL-LODGING	6,000.00	77.52	77.52	1.29	5,922.48

ALID ACCOUNT BREAK EXCEPTION REPC

CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
10-10-5202	CAR ALLOWANCE (MILEAGE)	3,000.00	46.31	46.31	1.54	2,953.69
10-10-5203	TRAINING & EDUCATION COSTS	4,500.00	1,199.00	1,199.00	26.64	3,301.00
10-10-5204	DUES & SUBSCRIPTIONS	3,600.00				3,600.00
10-10-5205	MAYOR'S DISCRETIONARY	500.00				500.00
10-10-5206	INSURANCE - PROPERTY	5,150.00				5,150.00
10-10-5207	INSURANCE - LIABILITY	12,000.00				12,000.00
10-10-5208	INSURANCE - BONDING	1,000.00				1,000.00
10-10-5209	ECONOMIC DEVELOPMENT	6,000.00				6,000.00
10-10-5210	WEBSITE DESIGN & HOSTING	3,350.00	180.00	180.00	5.37	3,170.00
10-10-5211	NEWSLETTER PUBLISHING	5,000.00				5,000.00
10-10-5212	PRINTING/NON NEWSLETTER	1,000.00				1,000.00
10-10-5213	POSTAGE - ALL	2,525.00				2,525.00
10-10-5214	PUBLIC NOTICES	1,750.00	47.60	47.60	2.72	1,702.40
10-10-5215	ELECTIONS	5,025.00				5,025.00
10-10-5216	Bank Service Fees	3,800.00	255.68	255.68	6.73	3,544.32
10-10-5217	INSURANCE-CYBER LIAB POLICY	2,835.00				2,835.00
10-10-5220	COPIER/POSTAGE MACHINE EXPENSE	2,500.00	149.91	149.91	6.00	2,350.09
10-10-5223	ADVERTISEMENTS/MARKETING	3,500.00	108.96	108.96	3.11	3,391.04
10-10-5243	CITY HALL - OFFICE SUPPLIES	4,800.00	274.55	274.55	5.72	4,525.45
10-10-5275	ANIMAL CONTROL CONTRACT	7,346.00				7,346.00
10-10-5280	MOSQUITO CONTROL	2,100.00				2,100.00
10-10-5282	ORTHO IMAGERY CONTRACT	1,033.00				1,033.00
10-10-5301	CITY ATTORNEY	7,500.00				7,500.00
10-10-5304	PROSECUTING ATTORNEY -COURT	8,500.00				8,500.00
10-10-5321	AUDITOR	16,500.00				16,500.00
10-10-5324	SOFTWARE SUBSCRIPTIONS/SUPPORT	16,500.00	12.99	12.99	.08	16,487.01
10-10-5325	CONSULTANT - NETWORK	7,250.00				7,250.00
10-10-5326	CONSULTANT - RECODIFICATION	3,000.00				3,000.00
10-10-5327	CONSULTANT - MISC	11,250.00				11,250.00
10-10-5560	NON-CAPITAL EQUIP -CITY HALL	3,000.00				3,000.00
10-10-5952	MISC - GENERAL FUND	750.00	26.49	26.49	3.53	776.49
GENERAL DEPARTMENT TOTAL		567,082.00	30,224.13	30,224.13	5.33	536,857.87
CODE ENFORCEMENT/COURT DEPARTMENT						
10-16-5243	OFFICE SUPPLIES - COURT	300.00				300.00
10-16-5306	O'FALLON MUNI COURT COSTS REBA	6,500.00				6,500.00
10-16-5606	O'FALLON MUNICIPAL COURT	36,000.00				36,000.00
10-16-5952	COURT/CODE ENFORCEMENT - MISC	5,326.00				5,326.00
CODE ENFORCEMENT/COURT TOTAL		48,126.00	.00	.00	.00	48,126.00
EMERGENCY MANAGEMENT DEPARTMENT						
TOTAL EXPENSES		615,208.00	30,224.13	30,224.13	4.91	584,983.87
GENERAL TOTAL		93,653.00	42,399.75	42,399.75	45.27	51,253.25

ALID ACCOUNT BREAK EXCEPTION REPC

CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
MUNICIPAL BUILDING & PARK FUND						
MUNICIPAL BUILDING & PARK DEPARTMENT						
20-20-4701	LOCAL SALES TAX	390,000.00	26,111.08	26,111.08	6.70	363,888.92
20-20-4702	METRO PARK DISTRICT TAX	18,000.00				18,000.00
20-20-4901	INTEREST -MUNIC BLDG & PARK	10,000.00	355.76	355.76	3.56	9,644.24
20-20-4905	INTEREST CD/MOSIP - PARKS	22,500.00				22,500.00
20-20-4970	SPONSORSHIPS/PARK DONATIONS	5,000.00				5,000.00
20-20-4971	PARK FACILITY RENTALS	3,500.00	125.00	125.00	3.57	3,375.00
	MUNICIPAL BUILDING & PARK TOTA	449,000.00	26,591.84	26,591.84	5.92	422,408.16
PARK IMPROVEMENT DEPARTMENT						
	TOTAL REVENUE	449,000.00	26,591.84	26,591.84	5.92	422,408.16
ARPA EXPENDITURES DEPARTMENT						
20-13-5314	ARPA PROFESSIONAL SERVICES	48,215.00				48,215.00
	ARPA EXPENDITURES TOTAL	48,215.00	.00	.00	.00	48,215.00
MUNICIPAL BUILDING & PARK DEPARTMENT						
20-20-5103	STAFF WAGES	158,060.00	8,995.09	8,995.09	5.69	149,064.91
20-20-5123	FICA EMPLOYER COST	12,092.00	683.29	683.29	5.65	11,408.71
20-20-5126	UNEMPLOYMENT TAXES	80.00				80.00
20-20-5127	LAGERS BENEFIT	10,142.00	539.77	539.77	5.32	9,602.23
20-20-5203	TRAINING & EDUCATION	1,800.00				1,800.00
20-20-5216	EVENTS IN THE PARK	10,000.00				10,000.00
20-20-5217	FOURTH OF JULY	18,500.00				18,500.00
20-20-5218	SENIOR CITIZENS DAY	800.00				800.00
20-20-5219	SANTA CLAUS/WINTER CHILL OUT	2,000.00				2,000.00
20-20-5220	FISHING DERBY	500.00				500.00
20-20-5231	SIGNS	3,200.00				3,200.00
20-20-5232	PARK - UNIFORMS	450.00				450.00
20-20-5233	BLDG - REPAIRS & MAINT	3,500.00				3,500.00
20-20-5236	PARK - REPAIRS	18,000.00				18,000.00
20-20-5237	PARK EQUIPMENT-REPAIRS/MAINT	3,500.00	601.08	601.08	17.17	2,898.92
20-20-5240	PARK EQUIPMENT RENTALS	5,000.00				5,000.00
20-20-5241	CITY HALL - REPAIRS/MAINT	9,000.00				9,000.00
20-20-5243	PARKS - GENERAL SUPPLIES	3,200.00	281.01	281.01	8.78	2,918.99
20-20-5244	CITY HALL - HOUSEKEEPING	3,000.00	240.00	240.00	8.00	2,760.00
20-20-5250	UTILITIES - SEWER	550.00				550.00
20-20-5251	TELEPHONE-INTERNET-EMAIL HOST	5,600.00				5,600.00
20-20-5253	ELECTRIC	7,500.00				7,500.00
20-20-5254	TRASH	2,100.00				2,100.00
20-20-5255	BOTTLED WATER	450.00	25.10	25.10	5.58	424.90
20-20-5256	UTILITIES-OTHER-ALARM	192.00	48.00	48.00	25.00	144.00

ALID ACCOUNT BREAK EXCEPTION REPC

CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
20-20-5257	CELL PHONE - PARKS	1,850.00				1,850.00
20-20-5314	LAKE DESGN/ENG.PROF SVC-CONSUL	50,000.00				50,000.00
20-20-5450	GROUNDS MAINTENANCE	5,000.00				5,000.00
20-20-5463	CAP EQUIPMENT - PARK	12,000.00				12,000.00
20-20-5490	AMP/PAV:CAP-REAL PROP IMPROVEM	1,080,935.00				1,080,935.00
20-20-5550	LANDSCAPING: NON-CAPITAL	5,200.00				5,200.00
20-20-5560	EQUIPMENT-CITY HALL:NON-CAPITA	1,800.00	644.26	644.26	35.79	1,155.74
20-20-5563	EQUIPMENT-PARK: NON-CAPITAL	2,800.00	235.49	235.49	8.41	2,564.51
20-20-5570	TRAIL MAINT / REPAIRS	2,000.00				2,000.00
20-20-5575	PARK PLAN/PROFESSIONAL SVCS	20,000.00				20,000.00
20-20-5952	MISC -MUNI BLDG & PARK	1,000.00	124.90	124.90	12.49	875.10
	MUNICIPAL BUILDING & PARK TOTA	1,461,801.00	12,417.99	12,417.99	.85	1,449,383.01
	PARK IMPROVEMENT DEPARTMENT					
	TOTAL EXPENSES	1,510,016.00	12,417.99	12,417.99	.82	1,497,598.01
	MUNICIPAL BUILDING & PARK TOTA	1,061,016.00-	14,173.85	14,173.85	1.34-	1,075,189.85-
	STATE REVENUE SHARING FUND					
	ROADS & POLICE DEPARTMENT					
22-19-4701	ROADS & POLICE 1% SALES TAX	780,000.00	52,009.56	52,009.56	6.67	727,990.44
	ROADS & POLICE TOTAL	780,000.00	52,009.56	52,009.56	6.67	727,990.44
	STATE REVENUE SHARING DEPARTMENT					
22-22-4711	MOTOR FUEL TAX	167,000.00	17,290.57	17,290.57	10.35	149,709.43
22-22-4712	MOTOR VEHICLE SALES TAX	58,000.00	4,908.58	4,908.58	8.46	53,091.42
22-22-4713	MOTOR VEHICLE FEE INCREASE	27,000.00	1,478.37	1,478.37	5.48	25,521.63
22-22-4901	INTEREST - STATE REV SHARING	1,000.00				1,000.00
22-22-4952	STATE REV SHARING MISC REVENUE	100.00	500.00	500.00	500.00	400.00-
22-22-4994	CVC SURCHARGE MUNI & E/R	180.00	50.69	50.69	28.16	129.31
22-22-4995	POST CITY - LET MUNI	750.00	274.00	274.00	36.53	476.00
22-22-4996	INMATE SECURITY/OFFSET LAW ENF	1,200.00	274.00	274.00	22.83	926.00
	STATE REVENUE SHARING TOTAL	255,230.00	24,776.21	24,776.21	9.71	230,453.79
	TOTAL REVENUE	1,035,230.00	76,785.77	76,785.77	7.42	958,444.23
	ROADS & POLICE DEPARTMENT					
22-19-5305	NEW POLICE SVCS CONTRACT	236,970.00	67,527.50	67,527.50	28.50	169,442.50
22-19-5440	SAFETY CAMERA SYSTEMS	13,000.00				13,000.00

ALID ACCOUNT BREAK EXCEPTION REPC
CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
22-19-5442	ROAD CONST - WOLFRUM RD	25,000.00				25,000.00
	ROADS & POLICE TOTAL	274,970.00	67,527.50	67,527.50	24.56	207,442.50
STATE REVENUE SHARING DEPARTMENT						
22-22-5103	STATE REV ADMIN STAFF SALARIES	76,043.00	4,322.30	4,322.30	5.68	71,720.70
22-22-5123	FICA	5,717.00	328.81	328.81	5.75	5,388.19
22-22-5127	LAGERS BENEFIT	3,804.00	223.64	223.64	5.88	3,580.36
22-22-5231	SIGNS	800.00				800.00
22-22-5264	RIGHT OF WAY LANDSCAPING/MAINT	8,000.00	4,231.24	4,231.24	52.89	3,768.76
22-22-5265	RIGHT-OF-WAY MOWING	16,000.00				16,000.00
22-22-5302	OUTSIDE ATTORNEY	25,000.00				25,000.00
22-22-5453	CITY STRTS/SIDEWALKS/PED CROSS	380,000.00				380,000.00
22-22-5470	TRAILS	25,000.00				25,000.00
	STATE REVENUE SHARING TOTAL	540,364.00	9,105.99	9,105.99	1.69	531,258.01
	TOTAL EXPENSES	815,334.00	76,633.49	76,633.49	9.40	738,700.51
	STATE REVENUE SHARING TOTAL	219,896.00	152.28	152.28	.07	219,743.72
ROAD & BRIDGE FUND FUND						
ROADS & BRIDGES DEPARTMENT						
23-23-4790	ROAD AND BRIDGE TAX	249,130.00				249,130.00
	ROADS & BRIDGES TOTAL	249,130.00	.00	.00	.00	249,130.00
	TOTAL REVENUE	249,130.00	.00	.00	.00	249,130.00
23-23-5445	CITY STREETS REPAIRS & MAINT	525,000.00				525,000.00
	ROADS & BRIDGES TOTAL	525,000.00	.00	.00	.00	525,000.00
	TOTAL EXPENSES	525,000.00	.00	.00	.00	525,000.00
	ROAD & BRIDGE FUND TOTAL	275,870.00	.00	.00	.00	275,870.00
SEWER - REPLACEMENT FUND						
SEWER REPLACEMENT DEPARTMENT						
31-31-5566	EQUIPMENT - SEWER	3,800.00				3,800.00

ALID ACCOUNT BREAK EXCEPTION REPC

CALENDAR 10/2023, FISCAL 1/2024

PCT OF FISCAL YTD 8.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT DIFFERENCE	DIFFERENCE
	SEWER REPLACEMENT TOTAL	3,800.00	.00	.00	.00	3,800.00
	TOTAL EXPENSES	3,800.00	.00	.00	.00	3,800.00
	SEWER - REPLACEMENT TOTAL	3,800.00-	.00	.00	.00	3,800.00-
SEWER - OPERTNS & MAINT FUND						
SEWER OPS/MAINT DEPARTMENT						
33-33-5249	OPERATIONS & MAINT - SEWER	800.00				800.00
	SEWER OPS/MAINT TOTAL	800.00	.00	.00	.00	800.00
	TOTAL EXPENSES	800.00	.00	.00	.00	800.00
	SEWER - OPERTNS & MAINT TOTAL	800.00-	.00	.00	.00	800.00-
CID-COMMUNITY IMPROVEMENT FUND						
CID-COMMUNITY IMPROVEMENT DEPARTMENT						
Report Total		1,027,937.00-	56,725.88	56,725.88	5.52-	1,084,662.88-

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE AMENDED AREA PLAN
FOR NEW PERSPECTIVE OF WELDON SPRING

WHEREAS, Weldon Springs RE LLC., has submitted a document containing thirty-six (36) pages dated (10/13/24) and identified as the “Area Plan Amendment For New Perspective of Weldon Spring”; and

WHEREAS, the “Area Plan Amendment for New Perspective of Weldon Spring” has been reviewed by the City Engineer, City Planner and the Planning & Zoning Commission at a duly called public meeting and is now submitted to the Board of Aldermen for approval.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, AS FOLLOWS:

Section 1: That Weldon Springs RE LLC., “Area Plan Amendment for New Perspective of Weldon Spring”, owner of a certain tract of land has provided the City of Weldon Spring with the proper plans and documentation.

Section 2: That after a public hearing by the City’s Planning & Zoning Commission on November 6, 2023 and the Board of Aldermen on November 9, 2023, the amended area plan was approved at this time.

Section 3: The vote on the aforesaid being deemed an emergency by the Board of Aldermen, the Board does hereby waive and dispense with the tabling procedure set forth in City Code, Section 110.070 and does hereby authorize the reading of the above bill twice at this meeting, and a vote thereon immediately following said second reading.

Section 4: That this ordinance shall be in full force and effect upon its enactment and approval.

READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS _____ DAY OF _____, 2023.

Attest:

Donald D. Licklider, Mayor

William C. Hanks, City Clerk

BILL NO. _____

ORDINANCE NO. _____

To approve Bill

Motioned: _____

Seconded: _____

	<u>Aye</u>	<u>Nay</u>	<u>Abstention</u>
Baker	_____	_____	_____
Clutter	_____	_____	_____
Conley	_____	_____	_____
Kolb	_____	_____	_____
Martiszus	_____	_____	_____
Yeager	_____	_____	_____
Licklader	_____	_____	_____

Absent: _____

Weldon Spring RE, LLC

1110 N. Dr. Martin Luther King Jr. Drive
Suite 610
Milwaukee, WI 53203

Chris Buday
414.305.4930

Faeq Hussain
414.232.9881

October 13, 2023

Greetings,

Please find attached application for amendment of approved Area Plan for New Perspective Senior Living of Weldon Spring parcel 3-0160-D309-00-000A.0000000.

Project Description:

A 3 story - 137-unit senior living building in Weldon Spring, MO. This community was designed for wellness, personal choice, and independence. It is a place where residents can "live life on purpose" with a stimulating and meaningful lifestyle. Amenities include a full-service spa, activity center, library, theater, & chapel.

Minor site plan modifications listed below:

- **C000 COVER SHEET**

1. Revised parking calculation.
2. Revised lot density calculation.
3. Revised sanitary sewer flow estimate.

- **C200 SITE PLAN**

1. Revised sidewalk layout.
 - Added door for additional egress path requested by Missouri DHSS to satisfy smoke compartment requirements. (2) memory care studio units were added - (2) additional beds.
2. Revised sidewalk.
3. Added door and concrete stoop to allow for egress onto back lawn.
 - The maintenance shop in MC wing was converted to the additional MC units noted above. (1) independent living unit was converted into a maintenance shop on level one make up for this. A stoop was added out of this room to allow maintenance technicians to egress safely.

- **C700 LIGHTING PLAN**

1. (2) bollards added leading to the dog park to enhance safety & visibility for the resident.



Sincerely,
Faeq Hussain



Area Plan, Final Development Plan or Section Plan Application Form

Instructions: Submit five (5) hard copies and one (1) electronic PDF version of the plans along with applicable application fee.

AMENDMENT APPLICATION

FOR OFFICE USE ONLY	
Application Number: _____	Application Date: _____
Fee Paid: _____	Reviewed By: _____
Approval Date: _____	Approved By: _____

See "Fee Schedule – Section 412.010" for applicable fee for the submission with this application.

Application Type: ☒ Area Plan ☐ Final Development Plan ☐ Section Plan

Project Name: New Perspective of Weldon Spring

Location/Subdivision: 400 Siedentop Rd - Coordinates: 38.716611, -90.687153

Current Zoning: PC Gross Acreage/Square Footage: 6.98 Acres/304112 SF

Current Land Use: Vacant Agricultural (A)

Proposed Land Use/Zoning: Nursing/Residential/Congregate Care Facility Rezoning Requested: ☐ Yes ☒ No

Type of Plan: ☒ Commercial ☐ Industrial ☐ Residential

Number of Buildings: 1 Number of Units: 137

Brief Description of Project: A 3 story - 137 unit senior living building in Weldon Spring, MO

This community was designed for wellness, personal choice, and independence. It is a place where residence can "live life on purpose" with a stimulating and meaningful lifestyle.

Amenities include a full-service spa, activity center, library, theater, & chapel in an aesthetic hardie board/stone clad building.

Contact Information:

Applicant Name: Faeq Hussain Phone: [REDACTED]

Company: Weldon Springs RE, LLC

Address: [REDACTED]

E-mail: [REDACTED] Fax: [REDACTED]

Engineer/Surveyor/Designer: Civil & Environmental Consultants, Inc. Phone: [REDACTED] Email: [REDACTED]

Name of Property Owner Weldon Springs RE, LLC

I, the undersigned do certify the accuracy of the information given on all the above.

	Faeq Hussain	10/16/2023
Signature of Applicant	Print Name	Date

Questions? Contact the Zoning Commissioner:

City of Weldon Spring ~ 5401 Independence Road ~ Weldon Spring, MO 63304 ~ (636) 441-2110 ext. 106 ~ www.weldonspring.org

Revised February 4, 2013

Page 1 of 1

Weldon Spring RE, LLC

1110 N. Dr. Martin Luther King Jr. Drive
Suite 610
Milwaukee, WI 53203

Chris Buday
414.305.4930

Faeq Hussain
414.232.9881

October 13, 2023

Greetings,

Please find attached application for amendment of approved Area Plan for New Perspective Senior Living of Weldon Spring parcel 3-0160-D309-00-000A.0000000.

Project Description:

A 3 story – 137-unit senior living building in Weldon Spring, MO. This community was designed for wellness, personal choice, and independence. It is a place where residents can “live life on purpose” with a stimulating and meaningful lifestyle. Amenities include a full-service spa, activity center, library, theater, & chapel.

Minor site plan modifications listed below:

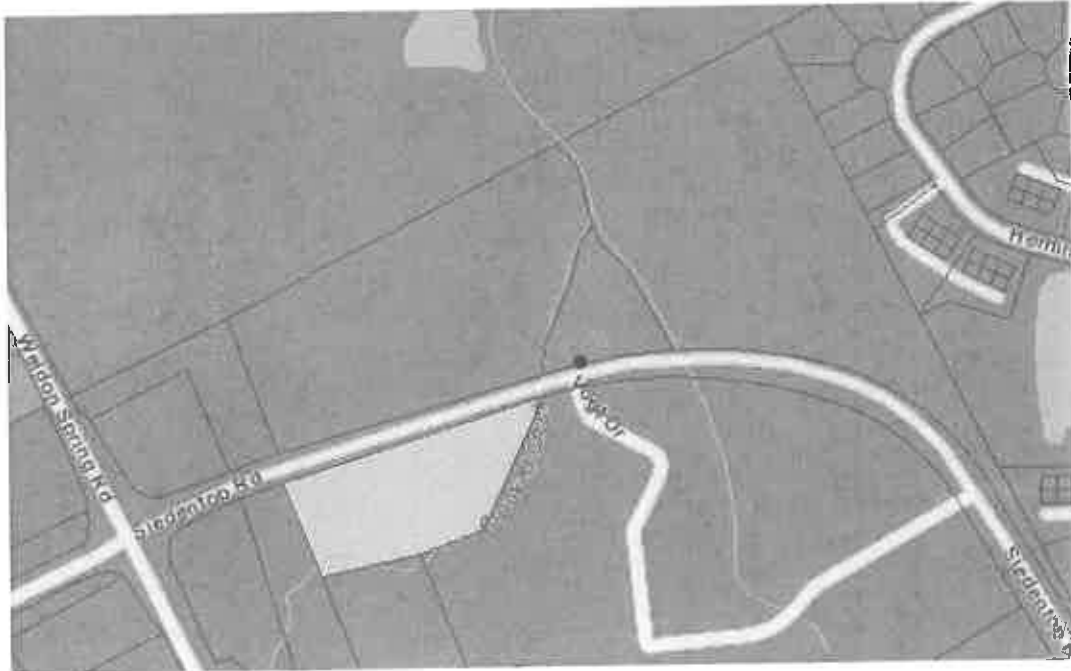
- **C000 COVER SHEET**
 1. Revised parking calculation.
 2. Revised lot density calculation.
 3. Revised sanitary sewer flow estimate.
- **C200 SITE PLAN**
 1. Revised sidewalk layout.
 - Added door for additional egress path requested by Missouri DHSS to satisfy smoke compartment requirements. (2) memory care studio units were added – (2) additional beds.
 2. Revised sidewalk.
 3. Added door and concrete stoop to allow for egress onto back lawn.
 - The maintenance shop in MC wing was converted to the additional MC units noted above. (1) independent living unit was converted into a maintenance shop on level one make up for this. A stoop was added out of this room to allow maintenance technicians to egress safely.
- **C700 LIGHTING PLAN**
 1. (2) bollards added leading to the dog park to enhance safety & visibility for the resident.



Sincerely,
Faeq Hussain

Weldon Springs Senior Living Facility List of Neighbors

- **Faith Church of Weldon Spring - (314) 635-2000**
300 Siedentop Rd, Weldon Spring, MO 63304
- **The Trace Apartments - (636) 487-6677**
1100 Vogt Dr, Weldon Spring, MO 63304
- **Persimmon Woods Golf Club - (636) 926-7227**
6401 Weldon Spring Pkwy, Weldon Spring, MO 63304
- **NESSLAGE LARRY D*NESSLAGE BARBARA J REVOC TRUST**
38.716258, -90.688330
- **REYNOLDS GRACE E TRUST *[May be outside of 185 ft]***
38.715994, -90.688899

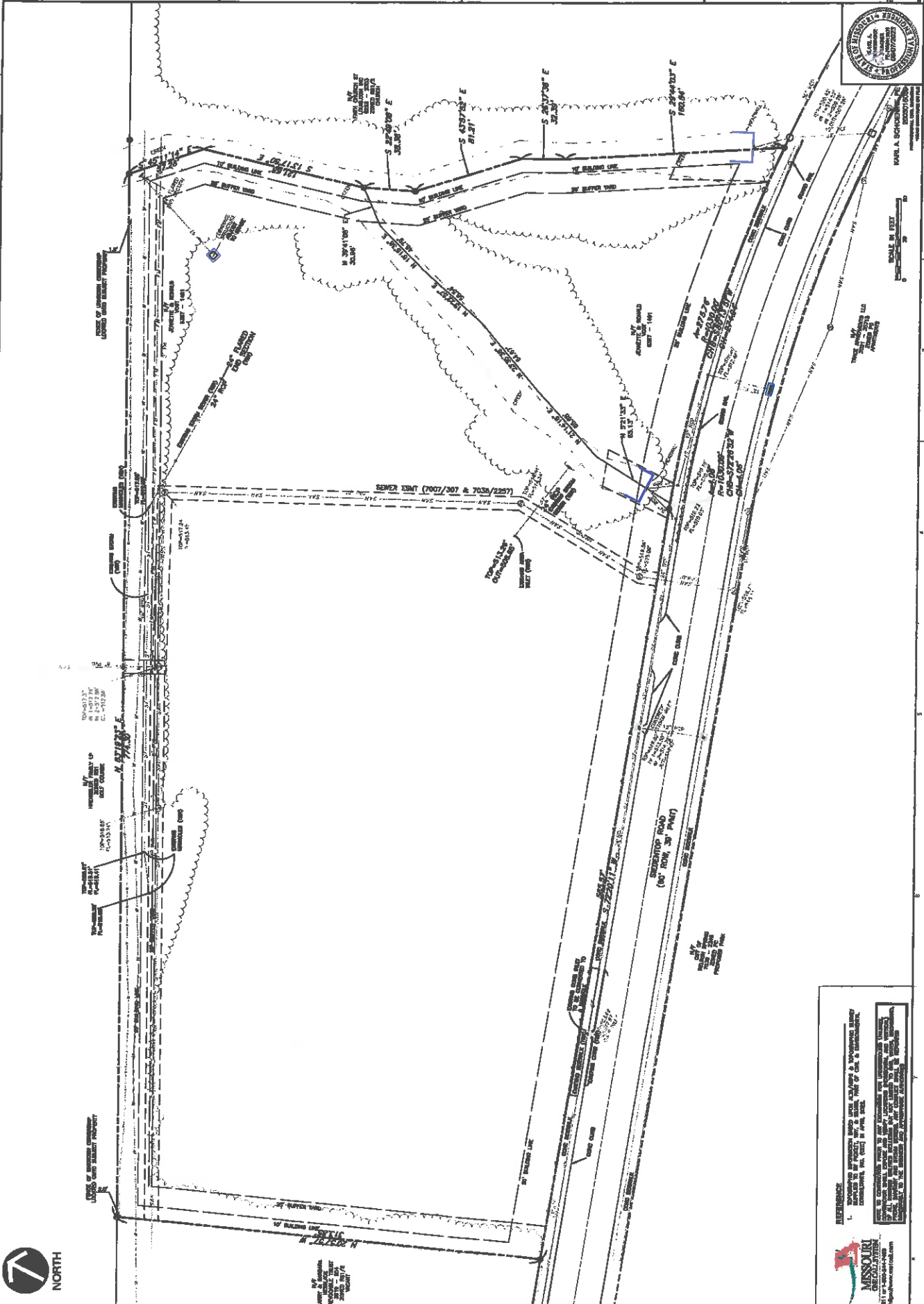


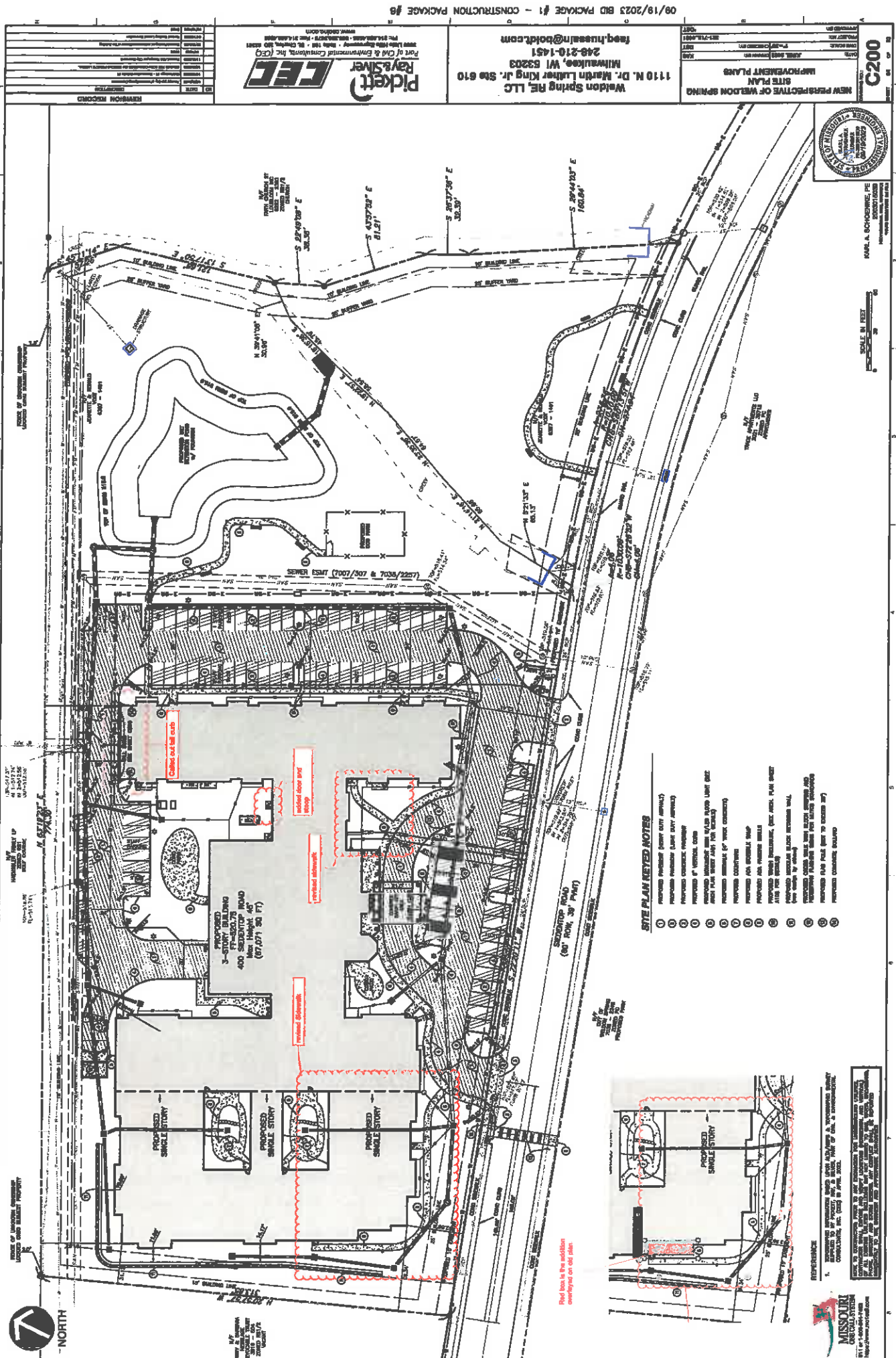


BEFORE CB#8 CHANGES



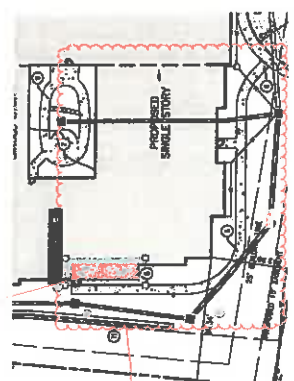
AFTER CB#8 CHANGES





SITE PLAN KEYED NOTES

- 1. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 1 (SEE PLAN SHEET 101)
- 2. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 2 (SEE PLAN SHEET 101)
- 3. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 3 (SEE PLAN SHEET 101)
- 4. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 4 (SEE PLAN SHEET 101)
- 5. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 5 (SEE PLAN SHEET 101)
- 6. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 6 (SEE PLAN SHEET 101)
- 7. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 7 (SEE PLAN SHEET 101)
- 8. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 8 (SEE PLAN SHEET 101)
- 9. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 9 (SEE PLAN SHEET 101)
- 10. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 10 (SEE PLAN SHEET 101)
- 11. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 11 (SEE PLAN SHEET 101)
- 12. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 12 (SEE PLAN SHEET 101)
- 13. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 13 (SEE PLAN SHEET 101)
- 14. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 14 (SEE PLAN SHEET 101)
- 15. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 15 (SEE PLAN SHEET 101)
- 16. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 16 (SEE PLAN SHEET 101)
- 17. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 17 (SEE PLAN SHEET 101)
- 18. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 18 (SEE PLAN SHEET 101)
- 19. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 19 (SEE PLAN SHEET 101)
- 20. PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT 20 (SEE PLAN SHEET 101)



REFERENCE

1. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR HIGHWAYS, 10TH EDITION, 2010
2. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR AIRPORTS, 10TH EDITION, 2010
3. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR RAILROADS, 10TH EDITION, 2010
4. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR CANALS AND NAVIGABLE RIVERS, 10TH EDITION, 2010
5. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR PORTS AND WATERSHEDS, 10TH EDITION, 2010
6. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR AIRPORTS, 10TH EDITION, 2010
7. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR RAILROADS, 10TH EDITION, 2010
8. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR CANALS AND NAVIGABLE RIVERS, 10TH EDITION, 2010
9. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR PORTS AND WATERSHEDS, 10TH EDITION, 2010
10. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR AIRPORTS, 10TH EDITION, 2010
11. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR RAILROADS, 10TH EDITION, 2010
12. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR CANALS AND NAVIGABLE RIVERS, 10TH EDITION, 2010
13. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR PORTS AND WATERSHEDS, 10TH EDITION, 2010
14. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR AIRPORTS, 10TH EDITION, 2010
15. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR RAILROADS, 10TH EDITION, 2010
16. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR CANALS AND NAVIGABLE RIVERS, 10TH EDITION, 2010
17. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR PORTS AND WATERSHEDS, 10TH EDITION, 2010
18. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR AIRPORTS, 10TH EDITION, 2010
19. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR RAILROADS, 10TH EDITION, 2010
20. MISSOURI STATE DEPARTMENT OF TRANSPORTATION
DESIGN MANUAL FOR CANALS AND NAVIGABLE RIVERS, 10TH EDITION, 2010

NEW PERSPECTIVE OF WEDSON SPRING

SITE PLAN

IMPROVEMENT PLANS

1110 N. Dr. Martin Luther King Jr. Ste 610
Milwaukee, WI 53203
248-210-1451
freed.hussain@bold.com

Waldon Spring RE, LLC

Pickett
Ray & Singer
Part of Civil & Environmental Consultants, Inc. (CEC)
2000 Lake Road, Suite 100, St. Charles, MO 63303
www.pickett-ray.com

CEC
Civil & Environmental Consultants, Inc.
2000 Lake Road, Suite 100, St. Charles, MO 63303
www.pickett-ray.com

C200

NEW PERSPECTIVE OF WEDSON SPRING

SITE PLAN

IMPROVEMENT PLANS

SCALE: 1" = 20'

DATE: 10/15/2023

BY: K. A. SCHNEIDER, P.E.

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/2023

09/18/2023 BID PACKAGE #1 - CONSTRUCTION PACKAGE #8

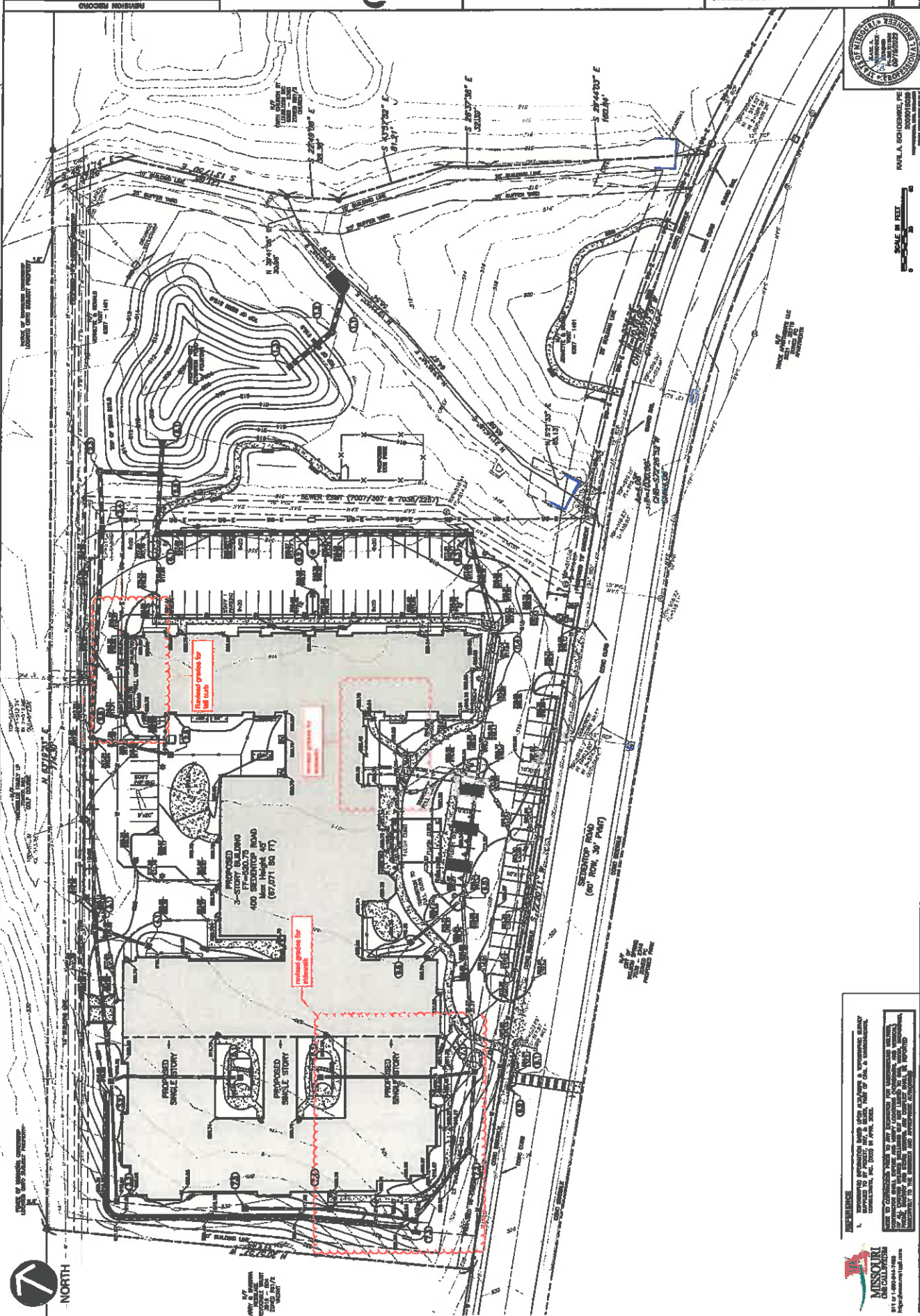
C300

NEW PERSPECTIVE OF WELDON SPRING
GRAVING PLAN
REMOVAL PLAN
DATE: 08/17/2023
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
APPROVED BY: J. H. HARRIS

Weldon Spring RE, LLC
1110 N. Dr. Martin Luther King Jr. Ste 610
Milwaukee, WI 53203
248-210-1451
jeff.harris@boldt.com

Pickett
Ray & Silver
Fort of Civil & Environmental Consultants, Inc. (CEC)
3000 Lake Wisconsin - Suite 100 - W. Chicago, IL 60075
www.pickett-ray.com

NO.	DESCRIPTION	DATE
1	REVISION RECORD	
2		
3		
4		
5		
6		
7		
8		
9		
10		



REFERENCE
1. EXISTING SURFACE AND LOT LINES & VERTICAL CURVE
DATA TO BE PROVIDED BY THE CLIENT, NOT BY THE ENGINEER.
2. EXISTING SURFACE AND LOT LINES & VERTICAL CURVE
DATA TO BE PROVIDED BY THE CLIENT, NOT BY THE ENGINEER.
3. EXISTING SURFACE AND LOT LINES & VERTICAL CURVE
DATA TO BE PROVIDED BY THE CLIENT, NOT BY THE ENGINEER.





WATER TERMINATION DETAIL

DUCKETT CREEK SANITARY DISTRICT

- NOTES:

WATER PLAN NOTES

5. IF IS THE RESPONSIBILITY OF ALL COMMISSIONERS TO CONSIDER ALLY COUNTRIES AT LEAST AS MUCH AS TO OUR EXCLUSION IN AN EFFORT TO PREVENT THE PROGRESS OF THE COMPLETION OF THE CONSTRUCTION OF THE PROJECT. FOR THE PROTECTION OF ANY INTERESTS INVOLVED IN THE PROJECTS COMPLETION.
6. ALL COMMISSIONERS SHALL BE IN ACCORDANCE WITH THE MEMORANDUM OF UNDERSTANDING BETWEEN THE UNITED STATES AND THE UNITED STATES OF AMERICA.
7. THE UNITED STATES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALLY COUNTRIES AT LEAST AS MUCH AS TO OUR EXCLUSION IN AN EFFORT TO PREVENT THE PROGRESS OF THE COMPLETION OF THE PROJECT. FOR THE PROTECTION OF ANY INTERESTS INVOLVED IN THE PROJECTS COMPLETION.

UTILITY PLAN KEYED NOTES (CONTINUED)

- [illegible]

UTILITY PLAN KEYED NOTES

- [illegible]

UTILITY PLAN NOTES

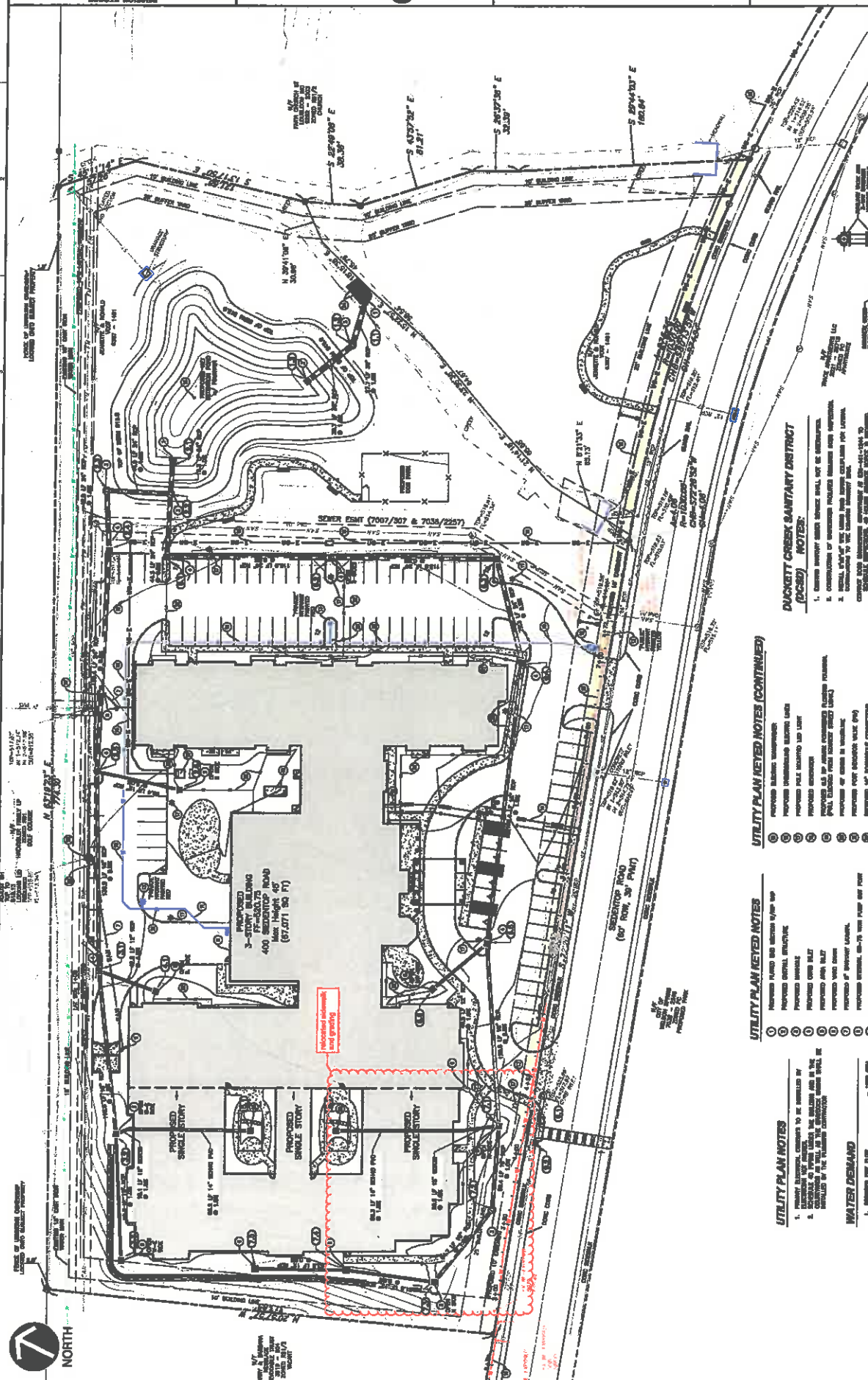
1. FURNISHING OF A PERSONALITY APPRAISAL
2. FURNISHING OF A PERSONALITY APPRAISAL
3. FURNISHING OF A PERSONALITY APPRAISAL
4. FURNISHING OF A PERSONALITY APPRAISAL
5. FURNISHING OF A PERSONALITY APPRAISAL
6. FURNISHING OF A PERSONALITY APPRAISAL
7. FURNISHING OF A PERSONALITY APPRAISAL
8. FURNISHING OF A PERSONALITY APPRAISAL
9. FURNISHING OF A PERSONALITY APPRAISAL
10. FURNISHING OF A PERSONALITY APPRAISAL

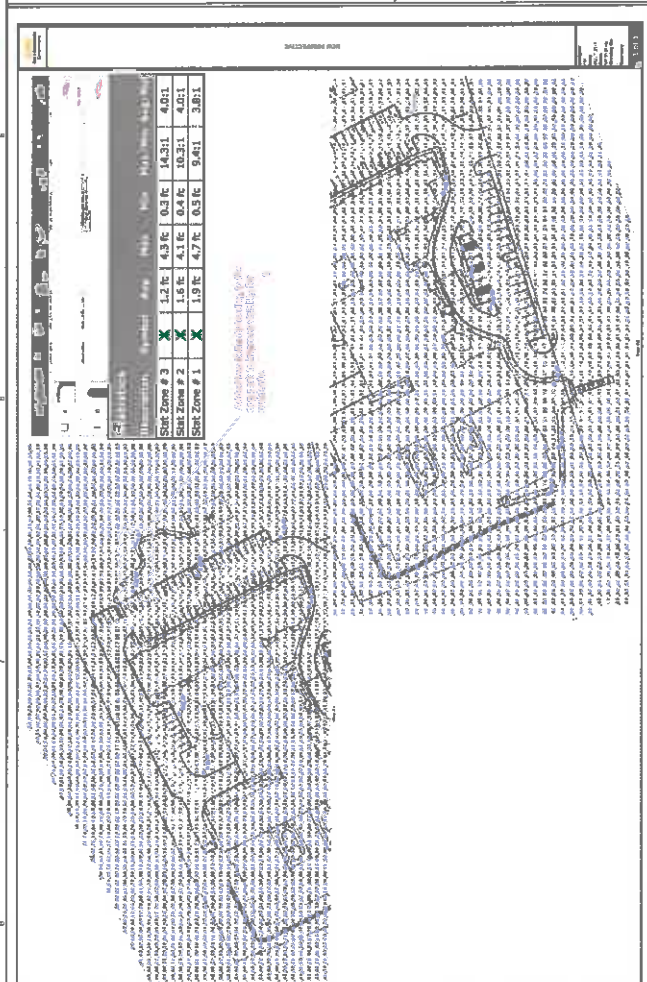
WATER DEMAND

- | | 1. Absolute Peak Flow | 2. Peak Normalized Flow (ml/min/kg) |
|---------|-----------------------|-------------------------------------|
| 100 gms | - | - |
| 170 gms | - | - |

Abstract

1. TELEPHONE INTERVIEW DATED 1981 APR 23/1981 & TELEPHONE STORY REPORTED BY RE: POOLBY, BOY, & SEARS. PAGE 27 OF 28. & DISSENTING COMMENTARY, NO. 12323 IN APR. 2022.





LED LIGHT NOTES:

1. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
2. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
3. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
4. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
5. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
6. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
7. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
8. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
9. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
10. ALL LIGHT FIXTURES ARE 2' OR 3' TALL

LED LIGHT NOTES:

1. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
2. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
3. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
4. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
5. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
6. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
7. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
8. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
9. ALL LIGHT FIXTURES ARE 2' OR 3' TALL
10. ALL LIGHT FIXTURES ARE 2' OR 3' TALL

NEW PERSPECTIVE OF WELDON SPRING LIGHTING PLAN IMPROVEMENT PLANS

1110 N. Dr. Martin Luther King Jr. Ste 610 Milwaukee, WI 53203

248-210-1451

freed.hussain@bold.com

Pickett Ray-Silver

Part of Civil & Environmental Consultants, Inc. (CEC)

2000 Luma Road, Suite 100 - St. Charles, MO 63301

314.734.8888

www.pickett-ray-silver.com

REVISION RECORD

NO.	DATE	DESCRIPTION
1	01/15/2023	Initial Design and Construction of the Lighting Plan
2	02/15/2023	Revised Design and Construction of the Lighting Plan
3	03/15/2023	Revised Design and Construction of the Lighting Plan
4	04/15/2023	Revised Design and Construction of the Lighting Plan
5	05/15/2023	Revised Design and Construction of the Lighting Plan
6	06/15/2023	Revised Design and Construction of the Lighting Plan
7	07/15/2023	Revised Design and Construction of the Lighting Plan
8	08/15/2023	Revised Design and Construction of the Lighting Plan
9	09/15/2023	Revised Design and Construction of the Lighting Plan
10	10/15/2023	Revised Design and Construction of the Lighting Plan
11	11/15/2023	Revised Design and Construction of the Lighting Plan
12	12/15/2023	Revised Design and Construction of the Lighting Plan



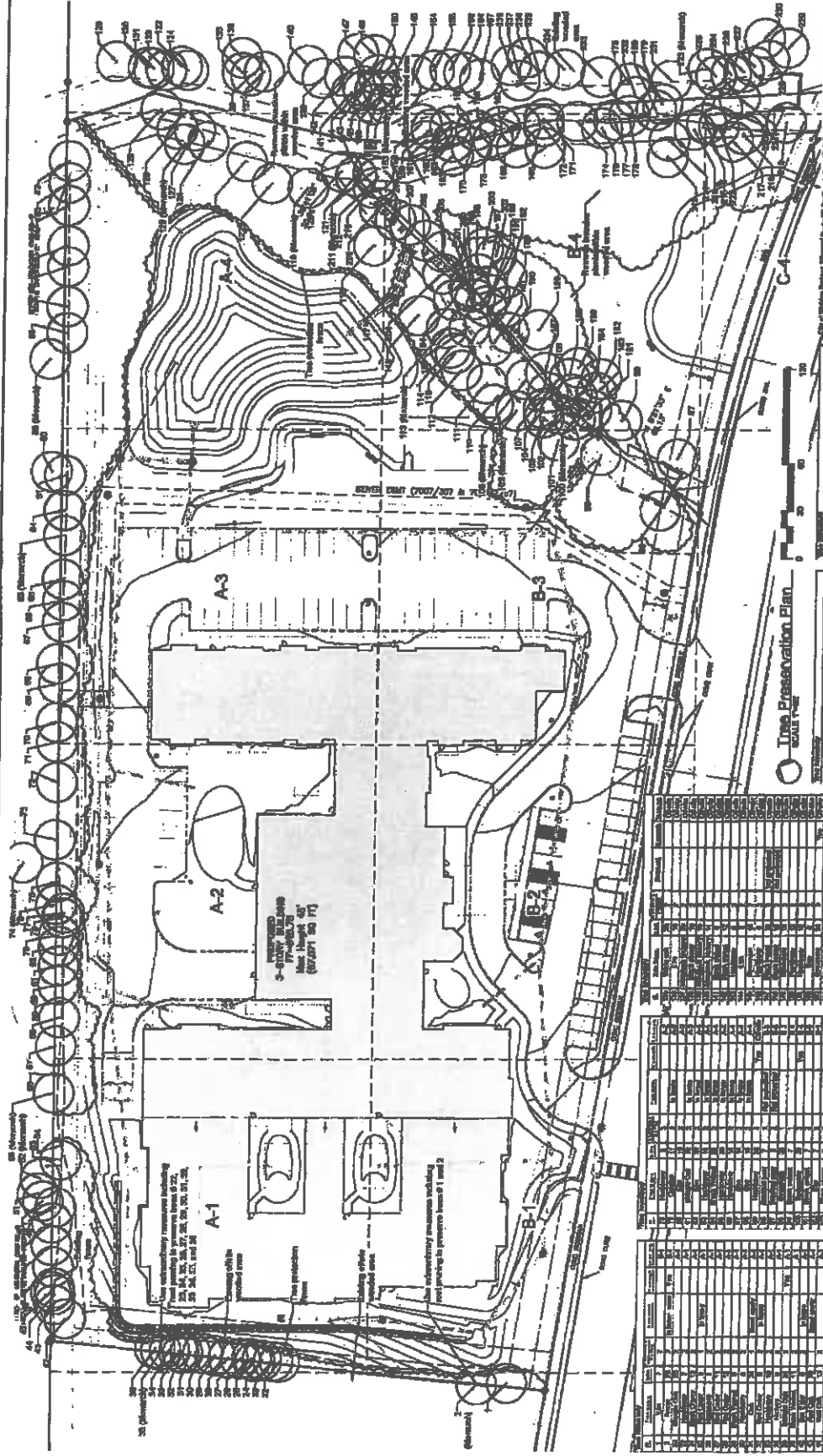


New Perspective of Weldon Spring

Weldon Spring, Missouri

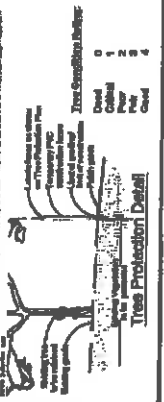
LOOMIS ASSOCIATES, INC.
1000 N. 10th St., Suite 100
Lincoln, NE 68502
(402) 441-1111
Fax: (402) 441-1112
www.loomisassoc.com

Project	Tree Preservation
Client	TPP
Date	10/20/02
Job No.	1771.004



Tree Preservation Plan

Tree Inventory									
Tree ID	Species	DBH (in)	Height (ft)	Condition	Location	Notes	Preservation Status	Remarks	Tree Protection Details
1	Q. macrocarpa	12	25	Good	Area A-1	...	...	...	...
2	Q. macrocarpa	10	20	Good	Area A-1	...	...	...	...
3	Q. macrocarpa	8	18	Good	Area A-1	...	...	...	...
4	Q. macrocarpa	6	15	Good	Area A-1	...	...	...	...
5	Q. macrocarpa	4	12	Good	Area A-1	...	...	...	...
6	Q. macrocarpa	3	10	Good	Area A-1	...	...	...	...
7	Q. macrocarpa	2	8	Good	Area A-1	...	...	...	...
8	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
9	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
10	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
11	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
12	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
13	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
14	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
15	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
16	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
17	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
18	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
19	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
20	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
21	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
22	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
23	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
24	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
25	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
26	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
27	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
28	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
29	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
30	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
31	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
32	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
33	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
34	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
35	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
36	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
37	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
38	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
39	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
40	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
41	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
42	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
43	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
44	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
45	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
46	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
47	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
48	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
49	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
50	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
51	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
52	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
53	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
54	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
55	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
56	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
57	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
58	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
59	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
60	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
61	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
62	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
63	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
64	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
65	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
66	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
67	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
68	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
69	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
70	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
71	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
72	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
73	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
74	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
75	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
76	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
77	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
78	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
79	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
80	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
81	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
82	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
83	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
84	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
85	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
86	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
87	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
88	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
89	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
90	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
91	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
92	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
93	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
94	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
95	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
96	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
97	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
98	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
99	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...
100	Q. macrocarpa	1	6	Good	Area A-1	...	...	...	...





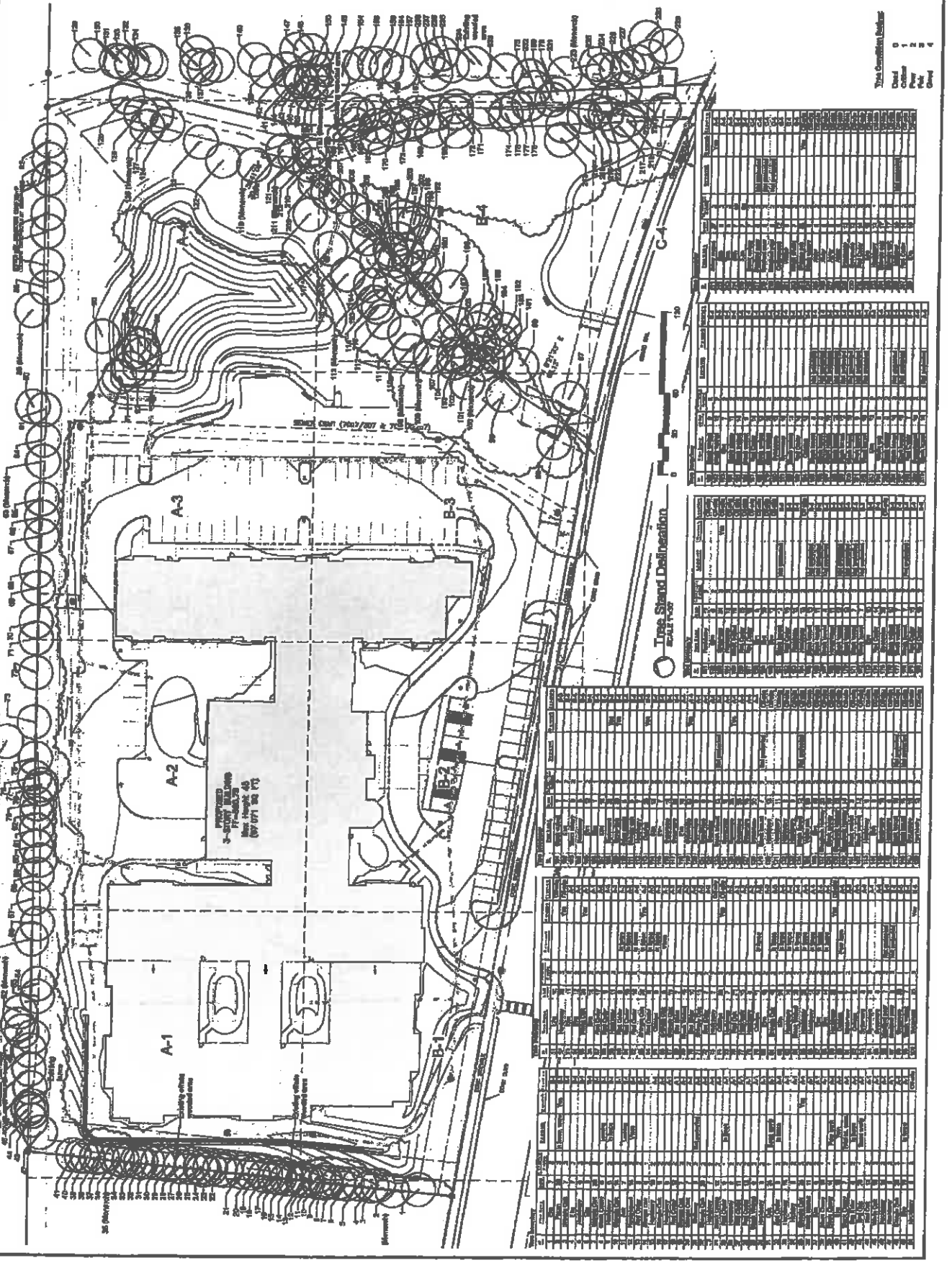
New Perspective of Weldon Spring

Weldon Spring, Missouri

Category	Code	Description
1. General	100	General Notes
2. Site	200	Site Plan
3. Building	300	Building Plans
4. Mechanical	400	Mechanical Plans
5. Electrical	500	Electrical Plans
6. Plumbing	600	Plumbing Plans
7. Fire Protection	700	Fire Protection Plans
8. Transportation	800	Transportation Plans
9. Landscaping	900	Landscaping Plans
10. Other	1000	Other Plans

LOOMIS ASSOCIATES
Landscape Architecture & Planning
10000 E. 12th Avenue, Suite 100
Denver, CO 80231
Tel: 303.755.1234
Fax: 303.755.1235
www.loomisassoc.com

TSD	
Project No.	1771066
Client	Weldon Spring
Scale	1" = 100'
Date	10/1/06



January 26, 2023
NPSL Weldon Spring
Miscellaneous Revisions



Boldt
Real Estate Development
1110 N Dr. Martin Luther King, Jr Drive
Suite 610
Milwaukee, WI 53203

January 19, 2022

Mr. Larry Halbrook
Chairman of the Architectural Review Commission
Weldon Spring City Hall
5401 Independence Road,
Weldon Spring, Missouri 63304

Subject: New Perspective Senior Living: January 2023 Revisions

Dear Larry/Steve,

I am writing regarding the planned nursing & residential facility located at 400 Siedentop Rd.

We understand deviations from the approved exterior building materials & finishes require review by a representative of Weldon's ARC or Steve Lauer.

List of minor changes around facility entry - See attached **Exhibit A** for summary of changes.:

1. Changed stone to siding at Chapel bump out and 2'nd floor bump out over Vestibule.
2. Changed stone on each side of Vestibule to windowsill height with siding above. Kept full height stone at 3 walls of Vestibule. Stone was removed above sill height on level one to improve constructability by eliminating excessive flashing that could cause water/moisture leakage in future.
3. Omitted the side gable roof elements from the Porte Cochere.

Attached is our proposal to modify roof pitches on the 3-story portion to remove flat roof area that would not be visible from grade either way. Please reference **Exhibit B to C** attached to note change.

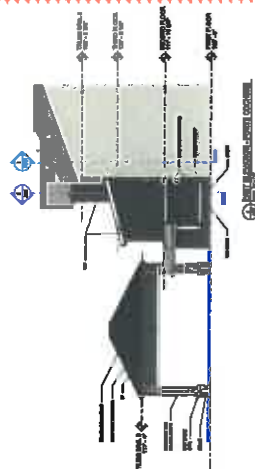
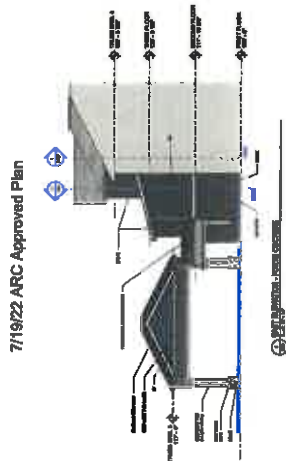
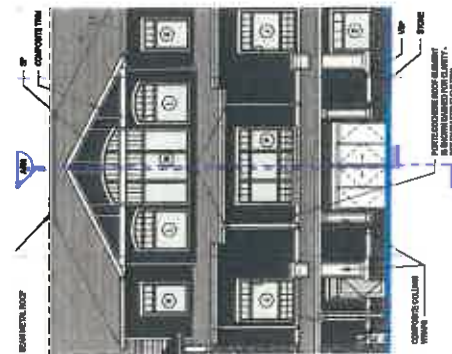
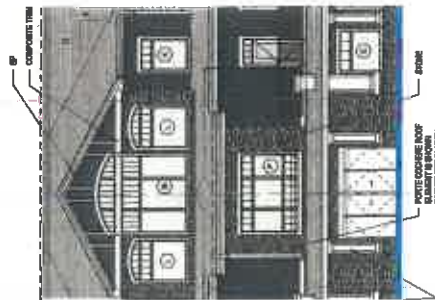
We understand per § 405.430(C)(6) of Weldon code *roofs on buildings with three (3) or more stories may be flat or pitched as approved by the Architectural Review Commission*. Please let me know if this change can be signed off on.

For your information, recently Missouri Department of Health and Senior Services required us add a stairwell in the building to allow assisted living residents the ability to egress without going through independent living space. This therefore decreased the egress distance for the handicapped residents that need it most. This change has added roughly 350 SF to the building, which is shown on Exhibit B in green bubble. A sidewalk was added to connect exterior slab from added stairwell to main sidewalk path. Please reference **Exhibit D** for more information & **Exhibit E** for an updated site plan.

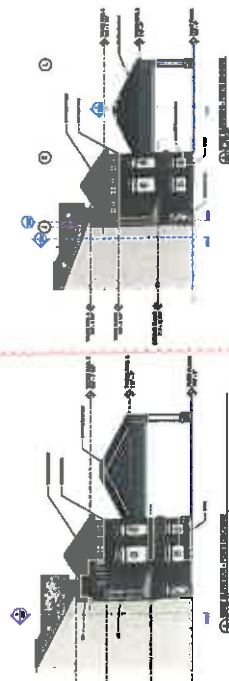
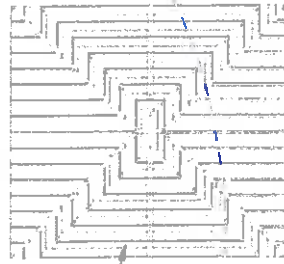
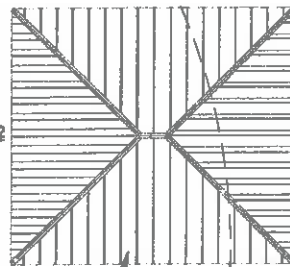
Sincerely,

Faeq Hussain
414-232-9881
faeq.hussain@boldt.com
CC: Chris Buday – Boldt

Approved By Steve Lauer *
Date 1-26-23
* Reviewed by Larry Halbrook



Removed door & rail on second floor walkout space. Door replaces with rail. This outdoor space was moved to outside of Pub off of level 1.



1
200 SCALE

**1/9/23 Isometric View -
Exhibit A**



NPSL - WELDON SPRING

WELDON SPRINGS RE. LLC.
1119 N. CH. WASHINGTON, MO. 63090
ARCHITECT: MICHAEL BAKER

DATE: 08/14/2023
COUNTY: CLATSOP
SHEET: 01 OF 02
PROJECT: NPSL - WELDON SPRING

This document contains confidential information and is not to be distributed outside the project team. It is the property of the Architect and is to be used only for the project for which it was prepared. It is not to be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

ROOF PLAN

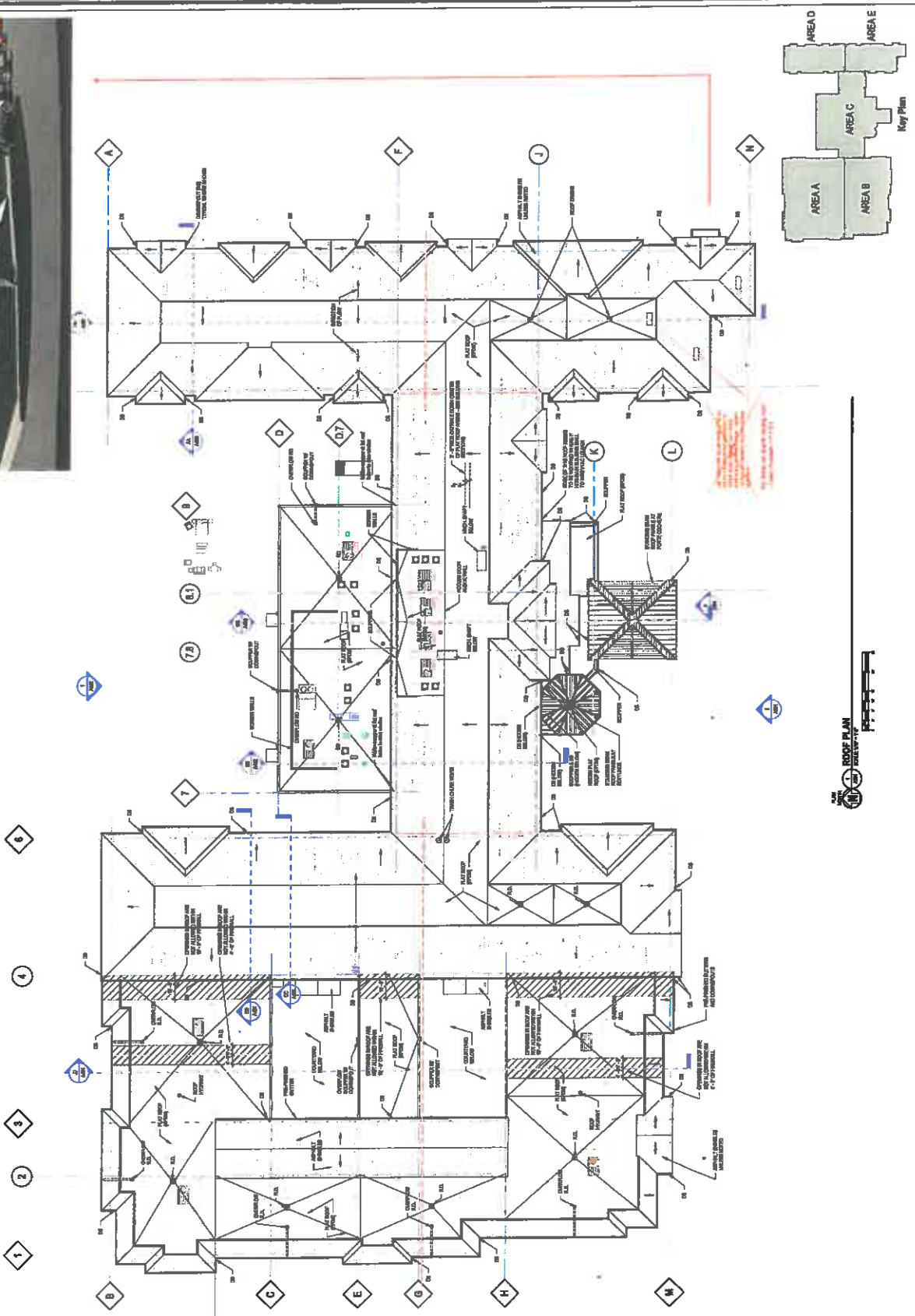
A204



Exhibit B

7/19/22 ARC Approved Roof Plan:

"Roofs on buildings with three (3) or more stories may be flat or pitched as approved by the ARC. Roofs on one-story buildings shall not be flat or nearly flat except for the center portion of the roof (not to exceed forty (40%) percent of the entire roof when seen in plan view) that is not visible from ground level. Part of the proposed building is three stories in height and part of the building is one story in height."





NPSL - WELDON SPRING

WELDON SPRINGS RE, LLC
1170 N. 9TH AVE. SUITE 100, WELDON, NEBRASKA 68093

DATE: 08/14/2018
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
PROJECT NUMBER: 18-002
SHEET NUMBER: 01-002

THIS DOCUMENT IS THE PROPERTY OF WELDON SPRINGS RE, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WELDON SPRINGS RE, LLC.

PROJECT: WELDON SPRINGS RE, LLC
SHEET: 01-002
DATE: 08/14/2018
PROJECT NUMBER: 18-002
SHEET NUMBER: 01-002

A204

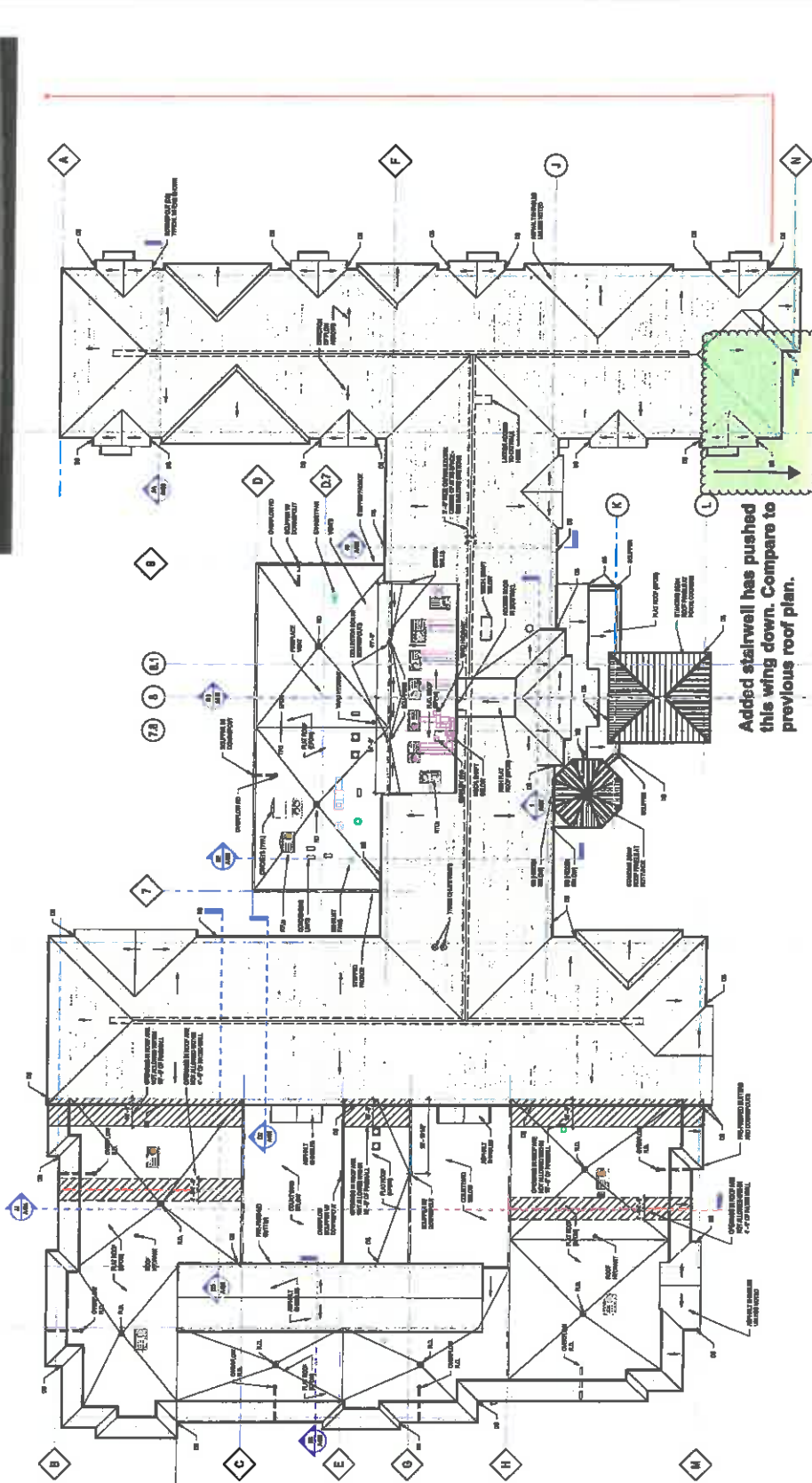


Exhibit C

Proposed Roof Plan Modification

Modified pitch to remove majority of flat roof area on 3-story portion of facility.
Flat roof area will not be visible from grade.

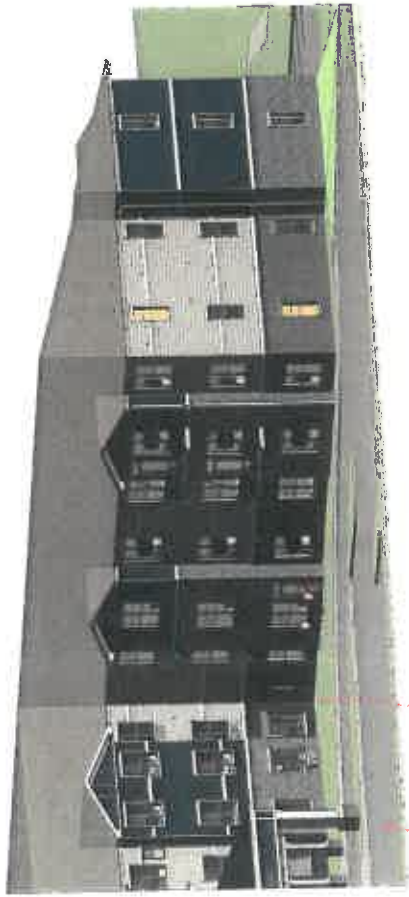
1 2 3 4



Added stairwell has pushed this wing down. Compare to previous roof plan.



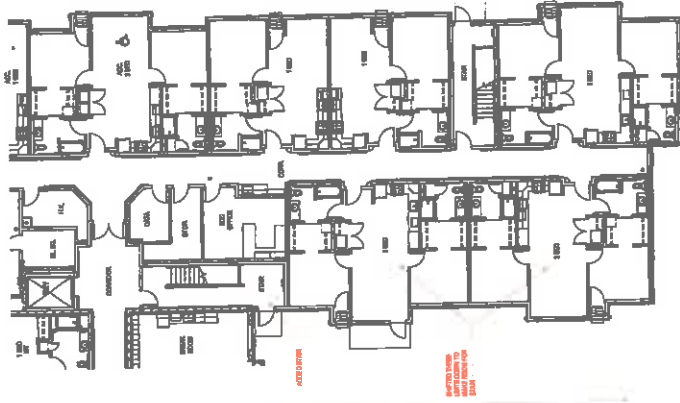
Exhibit D
Added DHS Stairwell



1/14/23 View - Colors same as approved set.
SOUTHWEST BUILDING ISOMETRIC

1/18/2023 - Sidewalk was be added from
added DHS stairwell to connect to main
sidewalk path. Reference Exhibit E: Site Plan

For reference - 7/18/22 approved exterior.



FIRST FLOOR PLAN - AREA E
SOUTHWEST BUILDING ISOMETRIC



SOUTHEAST BUILDING ISOMETRIC



NPSL - WELDON SPRING

WELDON SPRINGS RE, LLC.

1719 N. GUN SHAWNEY LANE, SUITE 100, CHICAGO, IL 60641

400 WELDON SPRING, WELDON SPRING, MO 63380

THIS DOCUMENT IS THE PROPERTY OF SOUTHWEST BUILDING ISOMETRIC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED BY THE CLIENT. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SOUTHWEST BUILDING ISOMETRIC.

ISOMETRIC VIEWS

Project Name: WELDON SPRING

Sheet No: A307

Exhibit E

NEW PERSPECTIVE OF WELDON SPRING

01/18/2022 Bid Package #1 - Construction Bulletin #2

Redlined Plan Set

1/18/2023

COMMENT #	SHEET	COMMENT
1	C000	REVISED SHEET TABLE LIST (NEW DETAIL PAGE)
2	C000	UPDATED DATE ON PLAN SET
3	C100	EXISTING STORM SEWER LABELED AS ADJUST TO GRADE WITH PIPE REMIAING IN PLACE
4	C200	CONCRETE PAVEMENT CALLED OUT IN PUBLIC RIGHT OF WAY AT ENTRANCES
5	C200	BUILDING FOOTPRINT AND PAVEMENT REVISED BASED ON NEW ARCHITECTURAL PLANS
6	C200	SIDEWALK ADDED AT FRONT OF BUILDING
7	C200	CONCRETE PADD ADDED FOR ELECTRIC CHARGING STATION
8	C200 C803	FLASHING CROSS WALK SIGNS
9	C200	NOTES ADDED TO SEE ATRCH PLANS FOR MONUMENT SIGN AND TRASH ENCLOSURE
10	C300	GRADING REVISED TO WORK WITH NEW BUILDING FOOTPRING AND PARKING AISLE LAYOUT
11	C500	UTILITY PLAN NOTES ADDED
12	C500	LATERAL REVISED FROM 6" TO 8" PVC
13	C500	UNDERGROUND DOWNSPOUT CONNECTIONS REMOVED - WILL BE SPLASHED AT GRADE
14	C500 C600	REVISED STORM SEWER PIPE TYPE
15	C500	REVISED COURTYARD AI'S TO BE GREYDOCK ATRIUM GRATES
16	C500	CIRCLE NOTE 26 ADDED FOR EV CHARGING STATION
17	C802	CONCRETE CURB WITH SIDEWALK DETAIL ADDED
18	C803	CURB RAMP DETAILS ADDED
19	C803	ENTRANCE PAVEMENT DETAILS ADDED
20	C803	TRUNCATED DOME DETAILS ADDED
21	C805	GREYDOCK ATRIUM GRATE DETAIL ADDED

2022

NPSL Weldon Spring

Approved Final Development Plan
proceeding Land Use Permit/ARC Approval.

**AN ORDINANCE APPROVING THE FINAL DEVELOPMENT PLAN FOR NEW
PERSPECTIVE OF WELDON SPRING AND MATTERS RELATING THERETO**

WHEREAS, Weldon Springs, RE LLC, came to a contractual real estate purchase agreement with Ronald K. & Jeanette R. Vogt to purchase a tract of land at 400 Siedentop Road"; and

WHEREAS, Boldt Capital, LLC, and Weldon Springs, RE LLC , are representatives of the developer for a proposed senior living facility to be known as New Perspective of Weldon Spring; and

WHEREAS, the City of Weldon Spring granted a Conditional Use Permit (CUP) to allow a Nursing and Residential Care Facility to be known as New Perspective of Weldon Spring in a "PC" Planned Commercial Zoning District, with the passage of Ordinance 22-04 on June 23, 2022; and

WHEREAS, the City of Weldon Spring approved the Area Plan for New Perspective of Weldon Spring with the passage of Ordinance 22-05 on June 23, 2022; and

WHEREAS, the City Planning & Zoning Commission recommended approval of the Final Development Plan for New Perspective of Weldon Spring on September 12, 2022.

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, AS FOLLOWS:

SECTION 1: That Weldon Springs. RE, LLC (New Perspective of Weldon Spring) has provided the City of Weldon Spring with the proper plans and documentation, which have been received by the City Staff, Mayor, & Aldermen.

SECTION 2: That after a public hearing by the Planning & Zoning Commission on May 2, 2022, and a public hearing by the Board of Aldermen on May 10, 2022, a Conditional Use Permit (CUP) was granted by the Board of Aldermen in Ordinance 22-04 with the following conditions:

1. The entrances on Siedentop Road will need to be aligned with the future Weldon Spring Park entrances.
2. An area plan must be submitted to the City of Weldon Spring and be approved for the site.
3. The facility must be licensed to operate as an Long Term Care Facility by the Missouri Department of Health & Senior Services.

SECTION 3: That the City Planner and City Engineer have reviewed the final development plan and all the conditions have been met in regard to the plan.

SECTION 4: On September 12, 2022, the Planning & Zoning Commission recommended approval of the final development plan after determining that it complies with the conditions of the ordinance authorizing the development.

SECTION 5: That the Board of Aldermen hereby approved the Final Development Plan.

SECTION 6: That this Ordinance shall be in full force and effect upon its enactment and approval.

***READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF
WELDON SPRING, MISSOURI, THIS 11th DAY OF October 2022.***


Donald D. Licklider, Mayor

Attest:


William C. Hanks, City Clerk



THIS PLAN IS NOT FOR RECORD

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
2. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
3. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
4. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
5. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

6. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
7. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
8. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
9. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
10. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

11. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
12. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
13. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
14. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
15. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

16. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
17. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
18. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
19. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
20. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

21. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
22. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
23. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
24. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
25. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

26. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
27. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
28. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
29. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
30. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

31. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
32. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
33. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
34. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
35. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

36. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
37. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
38. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
39. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.
40. THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

SANITARY SEWER FLOW ESTIMATE

Sanitary Sewer Flow Estimate
Based on 100% of the population of the site.
The design flow is based on the population of the site.
The design flow is based on the population of the site.

PARKING CALCULATIONS

Parking Calculations
Based on 100% of the population of the site.
The design flow is based on the population of the site.
The design flow is based on the population of the site.

LOT COVERAGE CALCULATIONS

Lot Coverage Calculations
Based on 100% of the population of the site.
The design flow is based on the population of the site.
The design flow is based on the population of the site.

LOT DENSITY CALCULATIONS

Lot Density Calculations
Based on 100% of the population of the site.
The design flow is based on the population of the site.
The design flow is based on the population of the site.



MISSOURI DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
JACKSON, MISSOURI 64501
TELEPHONE (816) 426-1000
FAX (816) 426-1001
WWW.MODOT.MO.GOV

THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

NEW PERSPECTIVE OF WELDON SPRING

TRACTS OF LAND BEING PART OF U.S. SURVEYS 1796, TOWNSHIP 47 NORTH, RANGE 3 EAST 81, CHARLES COUNTY, MISSOURI
FINAL DEVELOPMENT PLAN



LOCATION MAP

TITLE DESCRIPTION:

The purpose of this plan is to show the location of the site relative to the surrounding roads and landmarks. The site is located on the east side of Highway 94 S, south of Highway 164, and west of Research Park Dr. The site is located on the east side of Highway 94 S, south of Highway 164, and west of Research Park Dr.

The purpose of this plan is to show the location of the site relative to the surrounding roads and landmarks. The site is located on the east side of Highway 94 S, south of Highway 164, and west of Research Park Dr. The site is located on the east side of Highway 94 S, south of Highway 164, and west of Research Park Dr.

Sheet List Table

Sheet Number	Sheet Title
FDP1	COVER SHEET
FDP2	EXISTING DEMO PLAN
FDP3	SITE PLAN
FDP4	GRADING PLAN
FDP5	UTILITY PLAN
FDP6	LIGHTING PLAN

GENERAL LEGEND

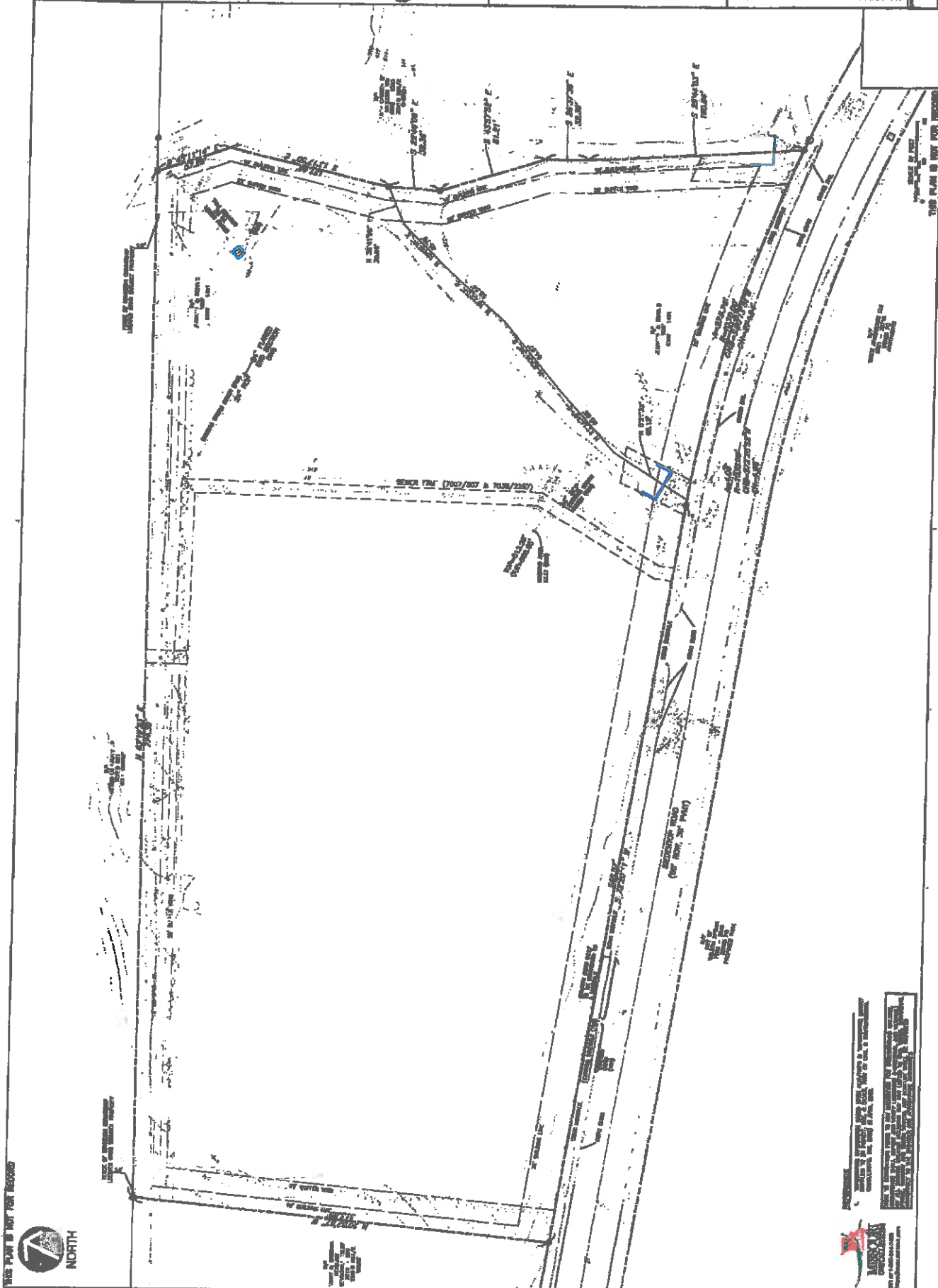
- 1. All construction shall be in accordance with the latest editions of the Missouri Department of Transportation Standard Specifications for Highways and Bridges.
- 2. The design flow is based on the population of the site.
- 3. The design flow is based on the population of the site.
- 4. The design flow is based on the population of the site.
- 5. The design flow is based on the population of the site.
- 6. The design flow is based on the population of the site.
- 7. The design flow is based on the population of the site.
- 8. The design flow is based on the population of the site.
- 9. The design flow is based on the population of the site.
- 10. The design flow is based on the population of the site.
- 11. The design flow is based on the population of the site.
- 12. The design flow is based on the population of the site.
- 13. The design flow is based on the population of the site.
- 14. The design flow is based on the population of the site.
- 15. The design flow is based on the population of the site.
- 16. The design flow is based on the population of the site.
- 17. The design flow is based on the population of the site.
- 18. The design flow is based on the population of the site.
- 19. The design flow is based on the population of the site.
- 20. The design flow is based on the population of the site.
- 21. The design flow is based on the population of the site.
- 22. The design flow is based on the population of the site.
- 23. The design flow is based on the population of the site.
- 24. The design flow is based on the population of the site.
- 25. The design flow is based on the population of the site.
- 26. The design flow is based on the population of the site.
- 27. The design flow is based on the population of the site.
- 28. The design flow is based on the population of the site.
- 29. The design flow is based on the population of the site.
- 30. The design flow is based on the population of the site.
- 31. The design flow is based on the population of the site.
- 32. The design flow is based on the population of the site.
- 33. The design flow is based on the population of the site.
- 34. The design flow is based on the population of the site.
- 35. The design flow is based on the population of the site.
- 36. The design flow is based on the population of the site.
- 37. The design flow is based on the population of the site.
- 38. The design flow is based on the population of the site.
- 39. The design flow is based on the population of the site.
- 40. The design flow is based on the population of the site.

THE DESIGNER HAS BASED HIS DESIGN ON THE ASSUMPTION THAT THE SITE IS TO BE DEVELOPED AS A RESIDENTIAL SUBDIVISION.

MISSOURI DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
JACKSON, MISSOURI 64501
TELEPHONE (816) 426-1000
FAX (816) 426-1001
WWW.MODOT.MO.GOV

FDP1

THIS PLAN IS NOT FOR RECORD

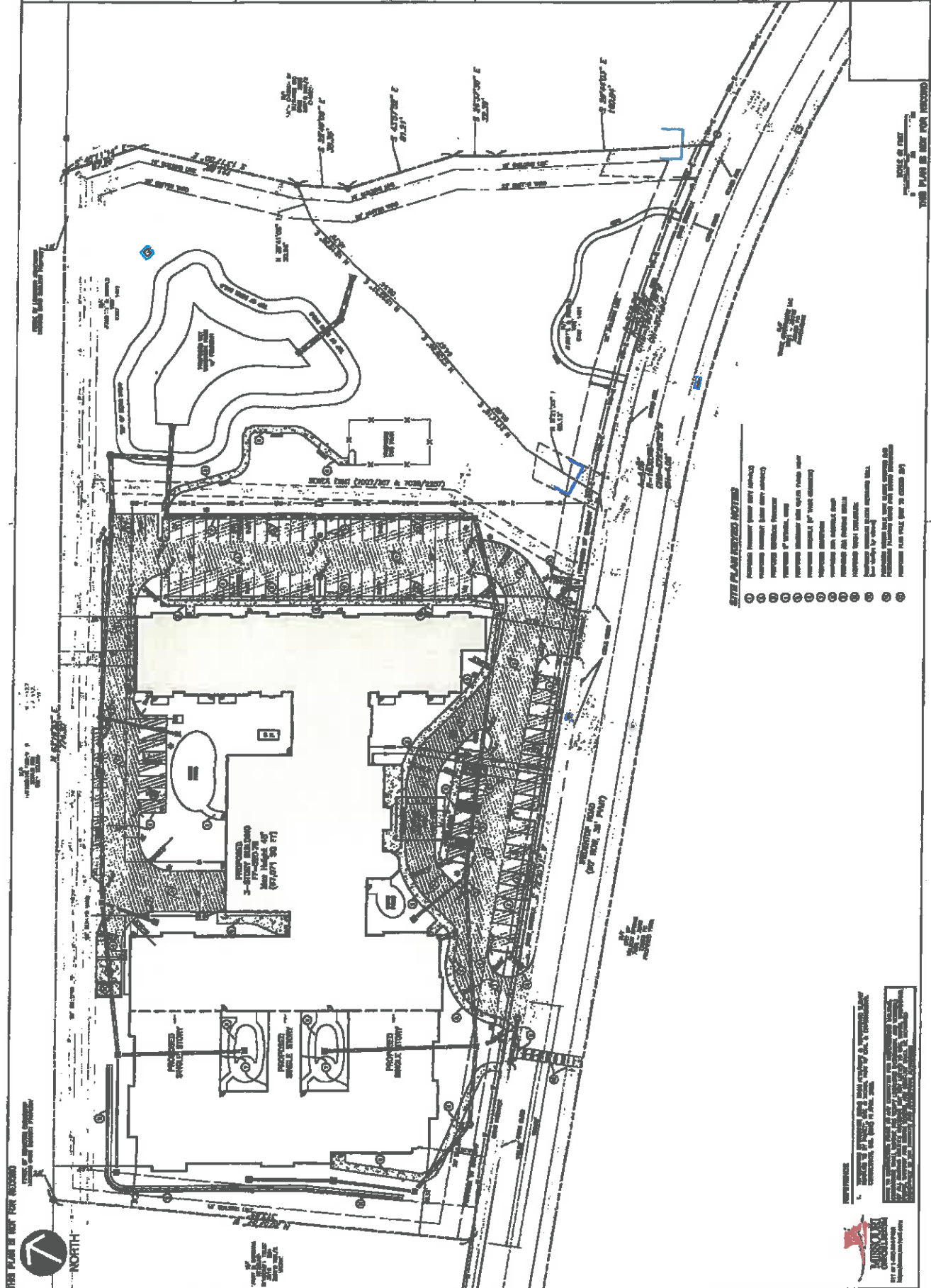


NEW PERMITS OF WILSON SPRING
SITE PLAN
FINAL DEVELOPMENT PLAN

THE BOLDT COMPANY
600 John Nolen Dr., Suite 120
Madison, WI 53713
(608) 250-6400

Pickett
Ray-Snyder
Part of C&E Environmental Consulting, Inc.
P.O. Box 1000, Madison, WI 53701
(608) 250-6400

DATE	10/1/01
BY	W. J. BOLDT
CHECKED BY	W. J. BOLDT
APPROVED BY	W. J. BOLDT
DATE	10/1/01
BY	W. J. BOLDT
CHECKED BY	W. J. BOLDT
APPROVED BY	W. J. BOLDT
DATE	10/1/01
BY	W. J. BOLDT
CHECKED BY	W. J. BOLDT
APPROVED BY	W. J. BOLDT



- SITE PLAN REVIEW NOTES**
1. Verify all dimensions and areas.
 2. Verify all setbacks and easements.
 3. Verify all utility lines and locations.
 4. Verify all building footprints and heights.
 5. Verify all parking spaces and circulation.
 6. Verify all landscape and site details.
 7. Verify all site access and ingress/egress.
 8. Verify all site signage and wayfinding.
 9. Verify all site safety and security.
 10. Verify all site sustainability and environmental features.

THE BOLDT COMPANY
600 John Nolen Dr., Suite 120
Madison, WI 53713
(608) 250-6400

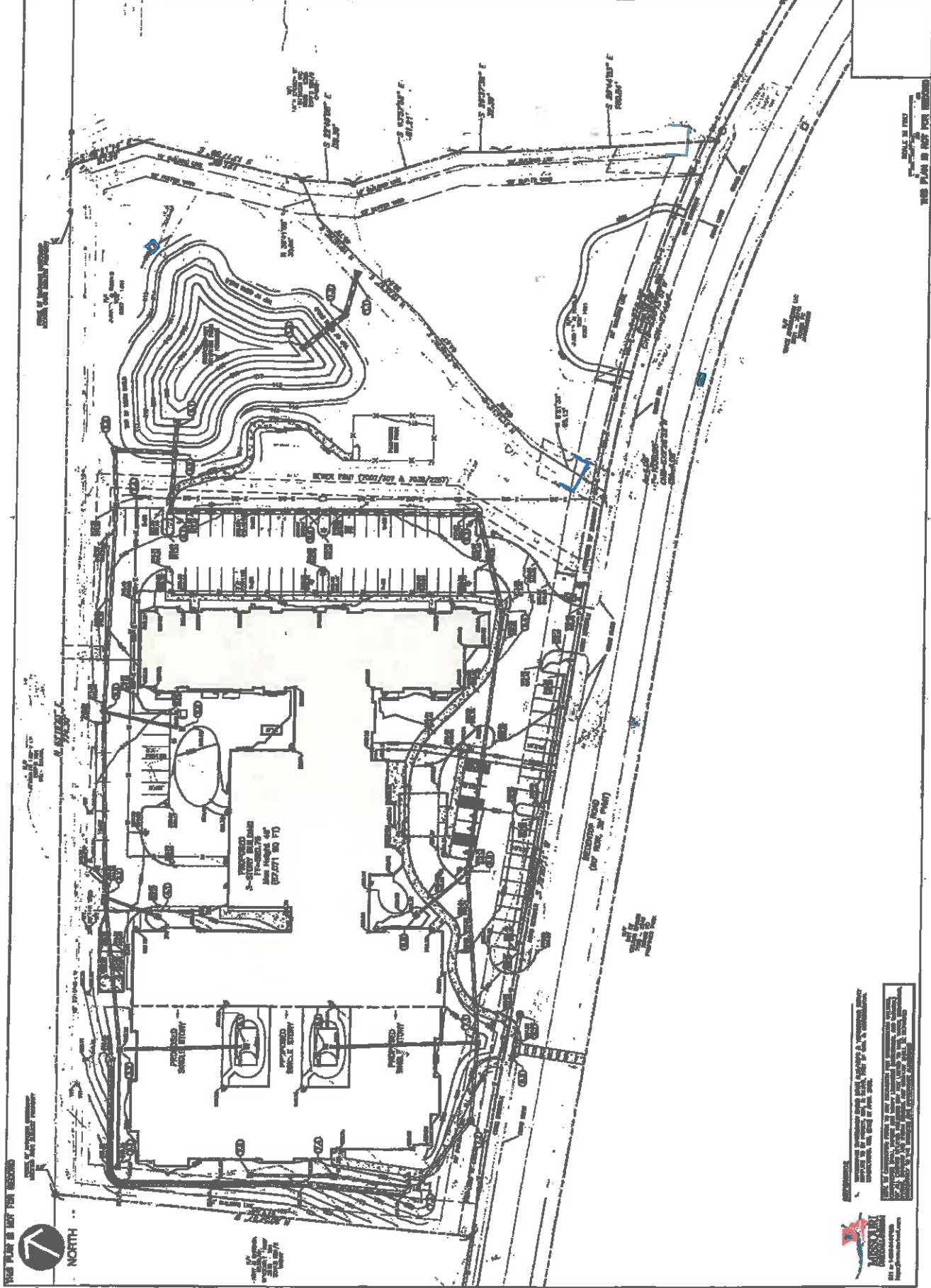


NEW PERSPECTIVE OF WELDON SPRING
FINAL DEVELOPMENT PLAN
DRAWING PLANS

THE BOLDT COMPANY
680 John Nelson Dr., Suite 120
Madison, WI 53713
(608) 255-4400

Pidgett
Petersen
Engineering
1000 1st St. S. Suite 100
Madison, WI 53705
(608) 255-4400

NO. 1	REVISIONS
1	REVISED
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED
9	REVISED
10	REVISED



THE BOLDT COMPANY
680 John Nelson Dr., Suite 120
Madison, WI 53713
(608) 255-4400

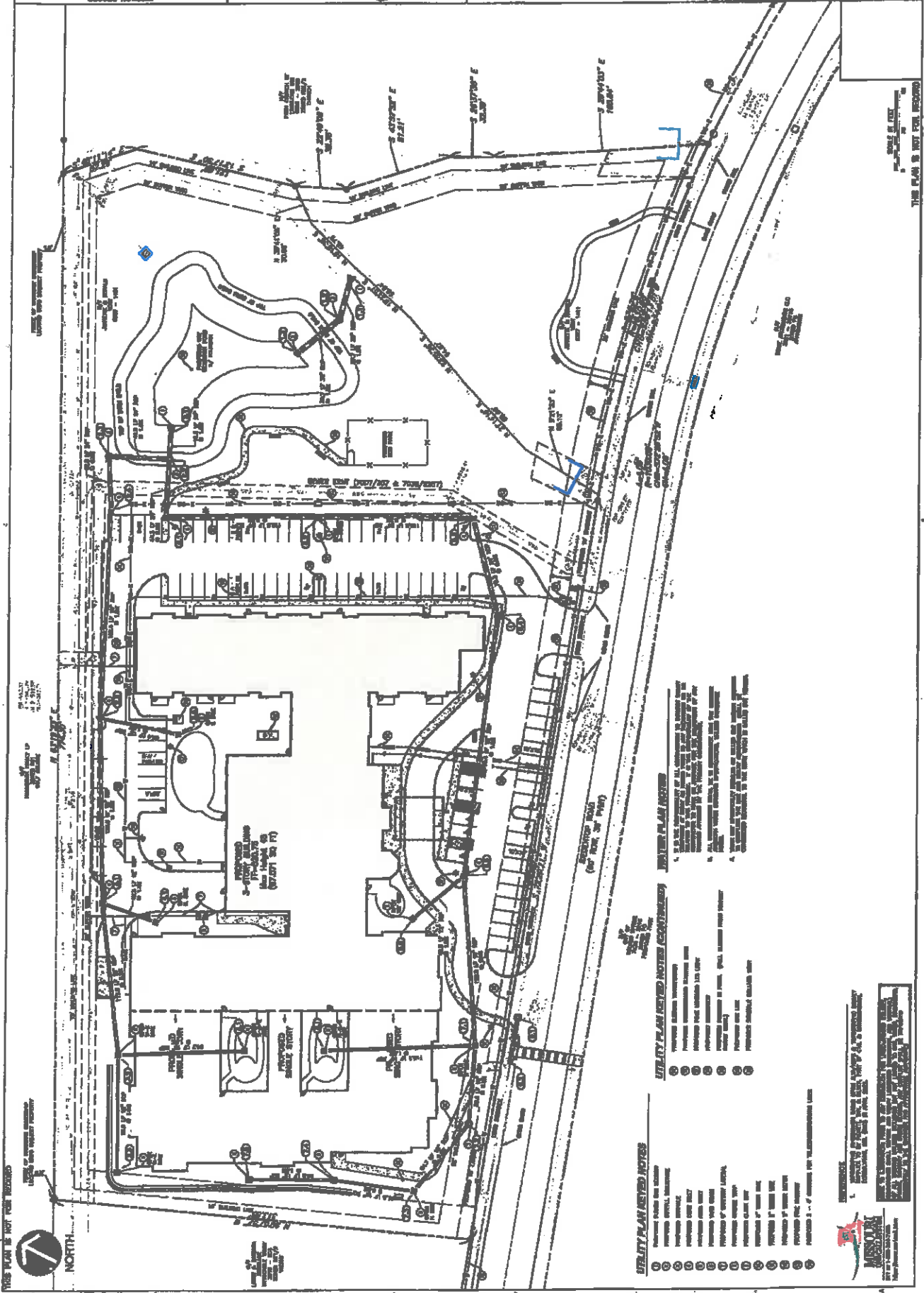


NEW PERSPECTIVE OF WISCONSIN SPRING
FINAL DEVELOPMENT PLAN
UTILITY PLAN

THE BOLDT COMPANY
600 John Nolen Dr., Suite 120
Madison, WI 53713
(608) 250-9400

Pledge
Raytheon
CFC
FOR THE USE OF THE CLIENT ONLY - NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE CLIENT

NO.	REVISION	DATE
001	ISSUED FOR PERMITTING	08/11/2011
002	FOR REVIEW AND COMMENT	08/11/2011
003	FOR REVIEW AND COMMENT	08/11/2011
004	FOR REVIEW AND COMMENT	08/11/2011
005	FOR REVIEW AND COMMENT	08/11/2011
006	FOR REVIEW AND COMMENT	08/11/2011
007	FOR REVIEW AND COMMENT	08/11/2011
008	FOR REVIEW AND COMMENT	08/11/2011
009	FOR REVIEW AND COMMENT	08/11/2011
010	FOR REVIEW AND COMMENT	08/11/2011



UTILITY PLAN NOTES

1. ALL UTILITIES SHOWN ARE BASED ON THE LATEST AVAILABLE RECORDS AND FIELD SURVEY. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
3. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
4. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.

UTILITY PLAN NOTES (CONTINUED)

5. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
6. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
7. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
8. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.

UTILITY PLAN NOTES

9. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
10. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
11. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.
12. THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE UTILITIES PROVIDERS.



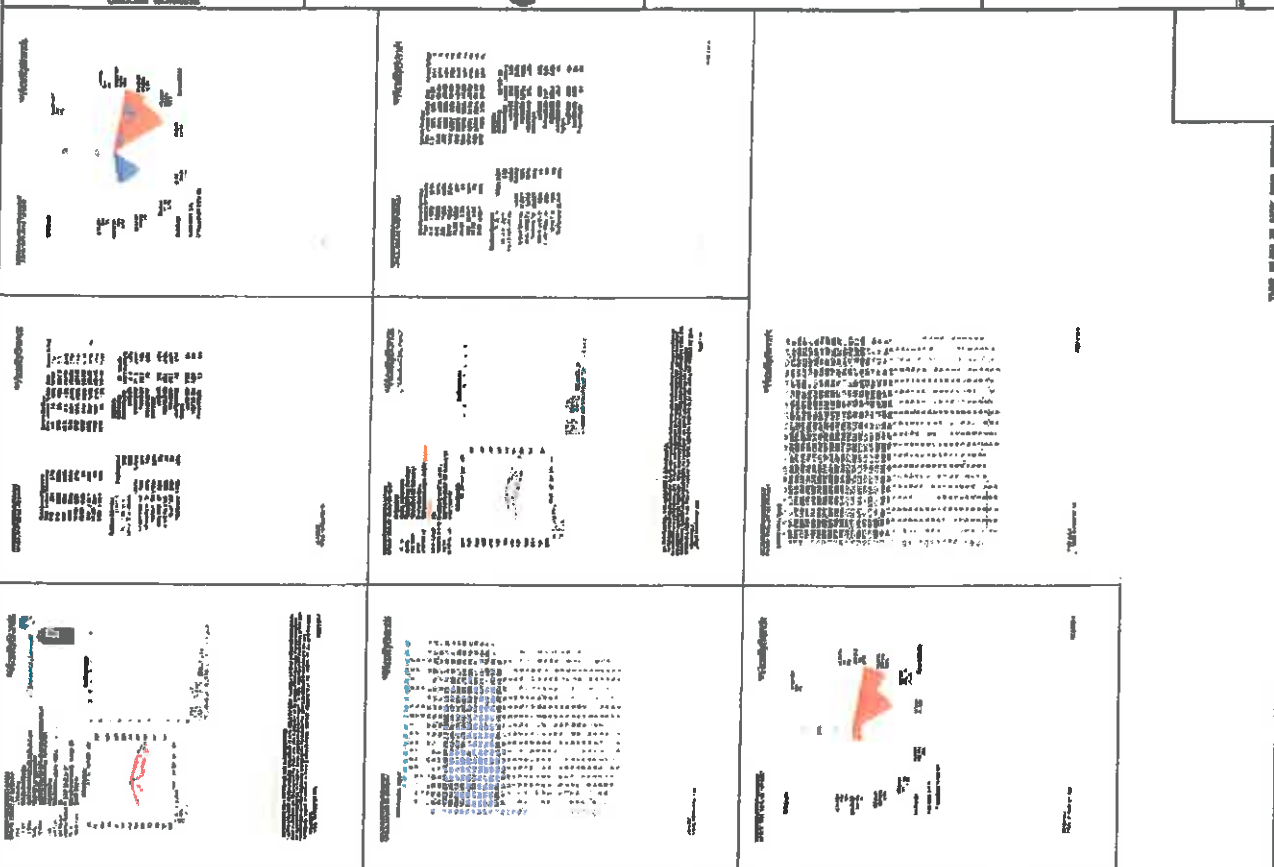
THIS PLAN IS NOT FOR RECORD
NORTH

**NEW PERSPECTIVE OF WILSON SPRING
LIGHTING PLAN
FINAL DEVELOPMENT PLANS**

THE BOLDT COMPANY
560 John Nolen Dr., Suite 120
Madison, WI 53713
(608) 253-8400

Pidgett
Hayabusa
CEE
Part of Carl & Emmermann Consulting, Inc. CEE
1000 Lake Shore Drive, Suite 100 • St. Charles, MO 63301
Tel: 636/261-1000 • Fax: 636/261-1001 • E-Mail: info@cee.com

SEARCHED	INDEXED	SERIALIZED	FILED
MAR 14 1964			
FBI - NEW YORK			
MAR 14 1964			
FBI - NEW YORK			

[illegible]

Abstract

1. THE OFF -
2. THE OFF -
3. THE OFF -
4. THE OFF -
5. THE OFF -
6. THE OFF -
7. THE OFF -
8. THE OFF -
9. THE OFF -
10. THE OFF -
11. THE OFF -
12. THE OFF -
13. THE OFF -
14. THE OFF -
15. THE OFF -
16. THE OFF -
17. THE OFF -
18. THE OFF -
19. THE OFF -
20. THE OFF -
21. THE OFF -
22. THE OFF -
23. THE OFF -
24. THE OFF -
25. THE OFF -
26. THE OFF -
27. THE OFF -
28. THE OFF -
29. THE OFF -
30. THE OFF -
31. THE OFF -
32. THE OFF -
33. THE OFF -
34. THE OFF -
35. THE OFF -
36. THE OFF -
37. THE OFF -
38. THE OFF -
39. THE OFF -
40. THE OFF -
41. THE OFF -
42. THE OFF -
43. THE OFF -
44. THE OFF -
45. THE OFF -
46. THE OFF -
47. THE OFF -
48. THE OFF -
49. THE OFF -
50. THE OFF -
51. THE OFF -
52. THE OFF -
53. THE OFF -
54. THE OFF -
55. THE OFF -
56. THE OFF -
57. THE OFF -
58. THE OFF -
59. THE OFF -
60. THE OFF -
61. THE OFF -
62. THE OFF -
63. THE OFF -
64. THE OFF -
65. THE OFF -
66. THE OFF -
67. THE OFF -
68. THE OFF -
69. THE OFF -
70. THE OFF -
71. THE OFF -
72. THE OFF -
73. THE OFF -
74. THE OFF -
75. THE OFF -
76. THE OFF -
77. THE OFF -
78. THE OFF -
79. THE OFF -
80. THE OFF -
81. THE OFF -
82. THE OFF -
83. THE OFF -
84. THE OFF -
85. THE OFF -
86. THE OFF -
87. THE OFF -
88. THE OFF -
89. THE OFF -
90. THE OFF -
91. THE OFF -
92. THE OFF -
93. THE OFF -
94. THE OFF -
95. THE OFF -
96. THE OFF -
97. THE OFF -
98. THE OFF -
99. THE OFF -
100. THE OFF -

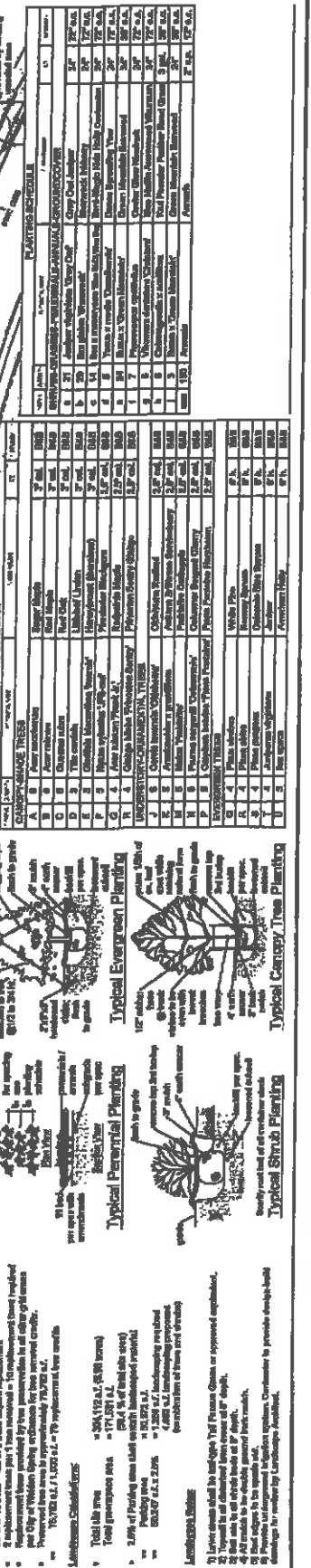
DuPont® 36W LED Linear Flood & Sign Light, 3384 lm, 85V-265V, 5000K, Bronze
DuPont® 36W LED Linear Flood & Sign Light, 3384 lm, 85V-265V, 5000K, Bronze

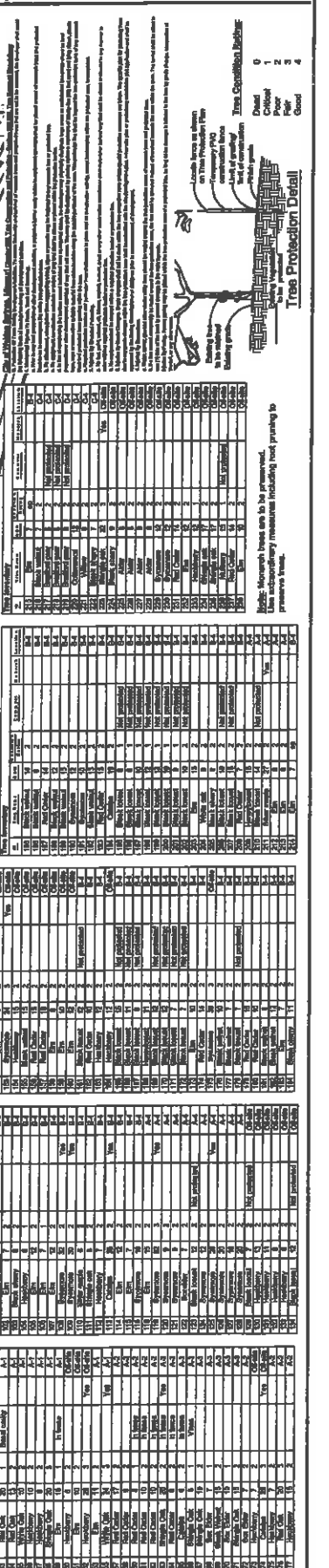
bioRxiv preprint doi: <https://doi.org/10.1101/000000>; this version posted January 1, 2016. The copyright holder for this preprint (which was not certified by peer review) is the author/funder, who has granted bioRxiv a license to display the preprint in perpetuity. It is made available under aCC-BY-NC-ND 4.0 International license.



LET FROM LEFT: MONTANA

1. COUNCILING WITH LEAD CHURCHES PLACED AT RISK OF LOSS OF WHITE, MIDDLE-CLASS, CATHOLIC PATRONS
2. NEW YORK TIMES, 1/10/84, P. 1
3. ON APPROXIMATELY 1/10/84





Waldon Sping, Missouri

**THE ASSOCIATION FOR
MOUNTAIN BIKES**

..

..

NEW PERSPECTIVE SENIOR LIVING RETAINING WALL



REICH ENGINEERING 1200 WILSON AVENUE, SUITE 100 CHICAGO, ILL. 60642 PHONE: 312-345-1234 FAX: 312-345-5678		WELDON SPRING, MO RETAINING WALL COVER SHEET NFSL DATE: 12/15/99 DRAWN BY: J. D. REICH CHECKED BY: J. D. REICH DATE: 12/15/99 JOB NO.: 22-0504	SHEET: COVER
--	--	---	--------------

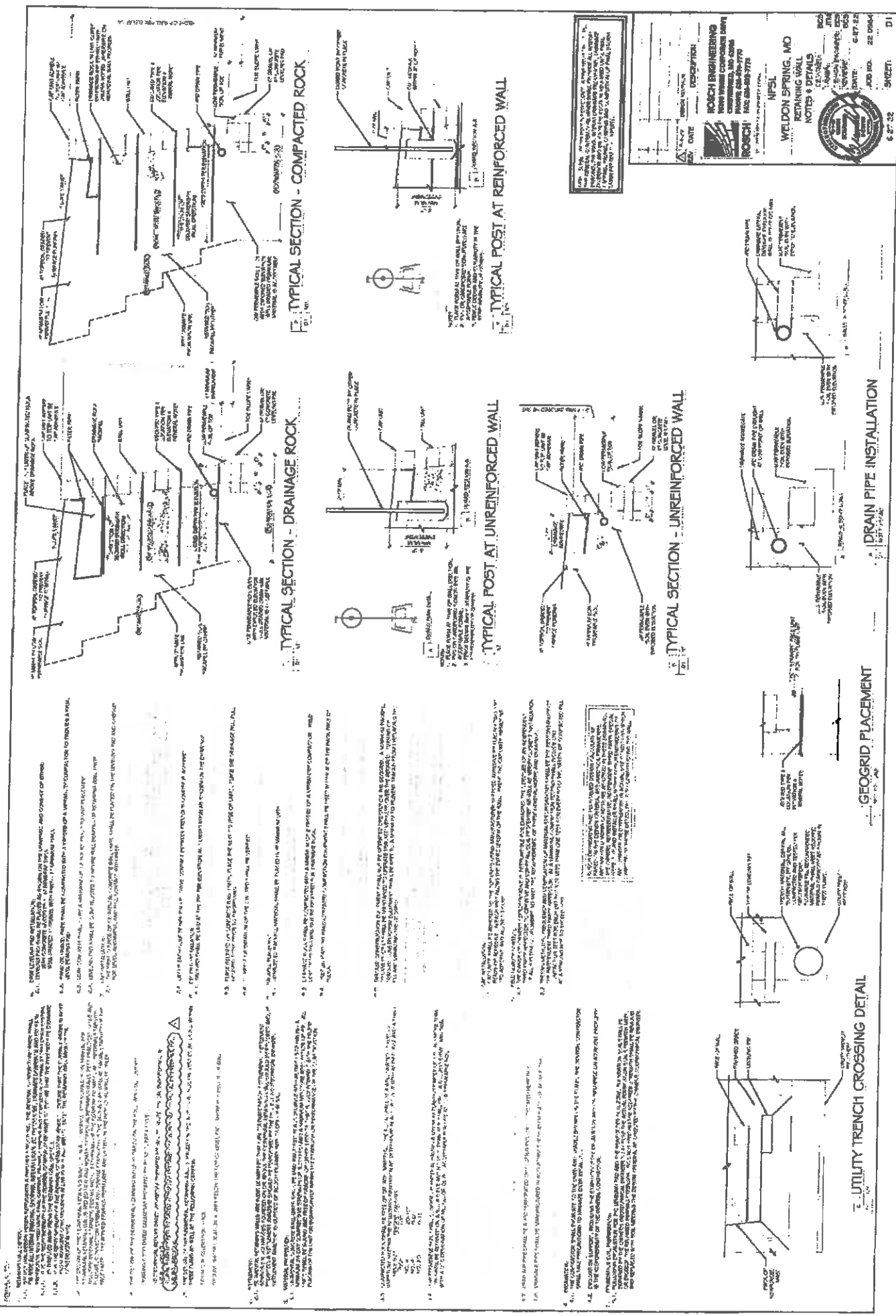
REICH ENGINEERING
 1200 WILSON AVENUE, SUITE 100
 CHICAGO, ILL. 60642
 PHONE: 312-345-1234
 FAX: 312-345-5678



THE
1944-45
1946-47
1947-48
1948-49
1949-50
1950-51
1951-52
1952-53
1953-54
1954-55
1955-56
1956-57
1957-58
1958-59
1959-60
1960-61
1961-62
1962-63
1963-64
1964-65
1965-66
1966-67
1967-68
1968-69
1969-70
1970-71
1971-72
1972-73
1973-74
1974-75
1975-76
1976-77
1977-78
1978-79
1979-80
1980-81
1981-82
1982-83
1983-84
1984-85
1985-86
1986-87
1987-88
1988-89
1989-90
1990-91
1991-92
1992-93
1993-94
1994-95
1995-96
1996-97
1997-98
1998-99
1999-00
2000-01
2001-02
2002-03
2003-04
2004-05
2005-06
2006-07
2007-08
2008-09
2009-10
2010-11
2011-12
2012-13
2013-14
2014-15
2015-16
2016-17
2017-18
2018-19
2019-20
2020-21
2021-22
2022-23
2023-24
2024-25
2025-26
2026-27
2027-28
2028-29
2029-30
2030-31
2031-32
2032-33
2033-34
2034-35
2035-36
2036-37
2037-38
2038-39
2039-40
2040-41
2041-42
2042-43
2043-44
2044-45
2045-46
2046-47
2047-48
2048-49
2049-50
2050-51
2051-52
2052-53
2053-54
2054-55
2055-56
2056-57
2057-58
2058-59
2059-60
2060-61
2061-62
2062-63
2063-64
2064-65
2065-66
2066-67
2067-68
2068-69
2069-70
2070-71
2071-72
2072-73
2073-74
2074-75
2075-76
2076-77
2077-78
2078-79
2079-80
2080-81
2081-82
2082-83
2083-84
2084-85
2085-86
2086-87
2087-88
2088-89
2089-90
2090-91
2091-92
2092-93
2093-94
2094-95
2095-96
2096-97
2097-98
2098-99
2099-00
2100-01
2101-02
2102-03
2103-04
2104-05
2105-06
2106-07
2107-08
2108-09
2109-10
2110-11
2111-12
2112-13
2113-14
2114-15
2115-16
2116-17
2117-18
2118-19
2119-20
2120-21
2121-22
2122-23
2123-24
2124-25
2125-26
2126-27
2127-28
2128-29
2129-30
2130-31
2131-32
2132-33
2133-34
2134-35
2135-36
2136-37
2137-38
2138-39
2139-40
2140-41
2141-42
2142-43
2143-44
2144-45
2145-46
2146-47
2147-48
2148-49
2149-50
2150-51
2151-52
2152-53
2153-54
2154-55
2155-56
2156-57
2157-58
2158-59
2159-60
2160-61
2161-62
2162-63
2163-64
2164-65
2165-66
2166-67
2167-68
2168-69
2169-70
2170-71
2171-72
2172-73
2173-74
2174-75
2175-76
2176-77
2177-78
2178-79
2179-80
2180-81
2181-82
2182-83
2183-84
2184-85
2185-86
2186-87
2187-88
2188-89
2189-90
2190-91
2191-92
2192-93
2193-94
2194-95
2195-96
2196-97
2197-98
2198-99
2199-00
2200-01
2201-02
2202-03
2203-04
2204-05
2205-06
2206-07
2207-08
2208-09
2209-10
2210-11
2211-12
2212-13
2213-14
2214-15
2215-16
2216-17
2217-18
2218-19
2219-20
2220-21
2221-22
2222-23
2223-24
2224-25
2225-26
2226-27
2227-28
2228-29
2229-30
2230-31
2231-32
2232-33
2233-34
2234-35
2235-36
2236-37
2237-38
2238-39
2239-40
2240-41
2241-42
2242-43
2243-44
2244-45
2245-46
2246-47
2247-48
2248-49
2249-50
2250-51
2251-52
2252-53
2253-54
2254-55
2255-56
2256-57
2257-58
2258-59
2259-60
2260-61
2261-62
2262-63
2263-64
2264-65
2265-66
2266-67
2267-68
2268-69
2269-70
2270-71
2271-72
2272-73
2273-74
2274-75
2275-76
2276-77
2277-78
2278-79
2279-80
2280-81
2281-82
2282-83
2283-84
2284-85
2285-86
2286-87
2287-88
2288-89
2289-90
2290-91
2291-92
2292-93
2293-94
2294-95
2295-96
2296-97
2297-98
2298-99
2299-00
2300-01
2301-02
2302-03
2303-04
2304-05
2305-06
2306-07
2307-08
2308-09
2309-10
2310-11
2311-12
2312-13
2313-14
2314-15
2315-16
2316-17
2317-18
2318-19
2319-20
2320-21
2321-22
2322-23
2323-24
2324-25
2325-26
2326-27
2327-28
2328-29
2329-30
2330-31
2331-32
2332-33
2333-34
2334-35
2335-36
2336-37
2337-38
2338-39
2339-40
2340-41
2341-42
2342-43
2343-44
2344-45
2345-46
2346-47
2347-48
2348-49
2349-50
2350-51
2351-52
2352-53
2353-54
2354-55
2355-56
2356-57
2357-58
2358-59
2359-60
2360-61
2361-62
2362-63
2363-64
2364-65
2365-66
2366-67
2367-68
2368-69
2369-70
2370-71
2371-72
2372-73
2373-74
2374-75
2375-76
2376-77
2377-78
2378-79
2379-80
2380-81
2381-82
2382-83
2383-84
2384-85
2385-86
2386-87
2387-88
2388-89
2389-90
2390-91
2391-92
2392-93
2393-94
2394-95
2395-96
2396-97
2397-98
2398-99
2399-

"We are 'Jehovah's' friends," says Barry
 and he shows "Jehovah's" smiling face
 like "Jehovah" "Yes, that's right" at
 "Oh, that's not a very good idea"

[illegible]



ROSCHE ENGINEERING
 1000 WEST 1000 SOUTH
 SALT LAKE CITY, UT 84119
 PHONE: 801-488-7770
 FAX: 801-488-7770

WELDON SPRING, MO
 RETAINING WALL
 NOTES & DETAILS
 DATE: 6-27-82
 DRAWN BY: JCS
 CHECKED BY: JCS
 DATE: 6-27-82

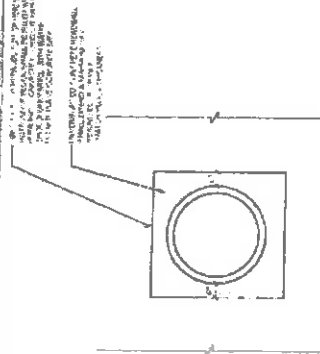
6-27-82

6-27-82

6-27-82

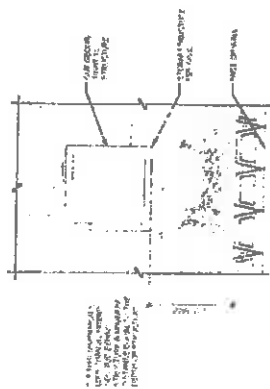
1. SEE NOTES FOR MATERIALS AND CONSTRUCTION.
 2. SEE NOTES FOR RETAINING WALL DESIGN.
 3. SEE NOTES FOR DRAINAGE ROCK DESIGN.
 4. SEE NOTES FOR POST DESIGN.
 5. SEE NOTES FOR UNREINFORCED WALL DESIGN.
 6. SEE NOTES FOR GEOGRID PLACEMENT.
 7. SEE NOTES FOR UTILITY TRENCH CROSSING DETAIL.

SEE PLAN FOR LOCATION OF
PIPE IN CONCRETE WALL. SEE
SECTION 01050 FOR DETAILS OF
CONCRETE WALL AND PIPE.

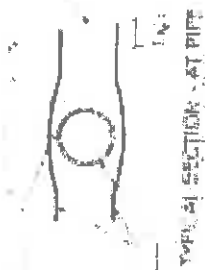


SEE PLAN FOR LOCATION OF
PIPE IN CONCRETE WALL. SEE
SECTION 01050 FOR DETAILS OF
CONCRETE WALL AND PIPE.

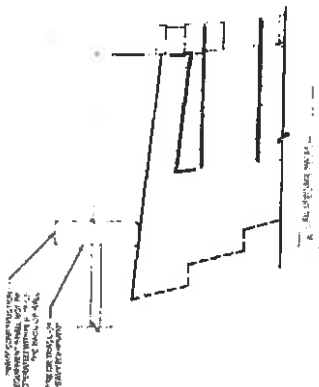
TYPICAL CONCRETE HEADWALL



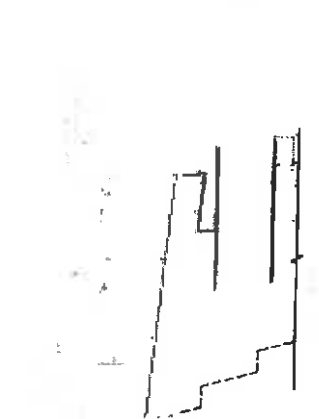
TYPICAL SECTION - AT STRUCTURE



TYPICAL SECTION - AT PIPE



CLAY PIPE HEADWALL AT TOP OF WALL



TYPICAL SECTION - AT STRUCTURE



TYPICAL CONCRETE CORNER DETAIL



DESIGNED BY
STATE OF MARYLAND
DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAYS
DIVISION OF DESIGN
1000 EIGHTH STREET, N.W.
WASHINGTON, D.C. 20004

DATE: 10/1/77
BY: J. J. HARRIS
CHECKED BY: J. J. HARRIS
APPROVED BY: J. J. HARRIS



**AN ORDINANCE AMENDING SECTION 405.430 (B) (7) OF THE WELDON SPRING,
MISSOURI, MUNICIPAL CODE AND MATTERS RELATING THERETO**

WHEREAS, That Missouri cities of the fourth class, Weldon Spring being such, have the authority from time to time to amend, supplement, change, modify or repeal its regulations and restrictions pursuant to the provisions of Section 89.050 of the Missouri Revised Statutes; and

WHEREAS, That That the Board of Alderman believe it is in the best interests of the residents of the City "to preserve and protect the character of the City by ensuring that new construction conforms to the City's character" as set out in Section 405.380 of the Municipal Code pertaining to the City's Architectural Review Commission; and

WHEREAS, said notices of public hearings were published at least fifteen (15) days in advance of the Public Hearing held by the Planning & Zoning Commission on November 6, 2023, and the Public Hearing held by the Board of Aldermen on November 9, 2023; and

WHEREAS, the Planning & Zoning Commission has recommended the following changes to Section 405.430 (B) (7) to the Board of Aldermen for consideration; and

WHEREAS, the Board of Aldermen has taken up this matter based upon the recommendations made by the Planning & Zoning Commission of the City of Weldon Spring, Missouri.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI AS FOLLOWS:

SECTION 1: That Section 405.430 (B) (7) of the Municipal Code is hereby amended as follows (added text is shown in boldface type, deleted text shown in ~~[bracket and stricken]~~ type):

405.430 Design Standards.

B. Residential and Multi-Family Buildings

7. Single-Family Residential Garages. All garages for single-family detached dwellings shall be side-entry or rear entry except: ~~[for garages in the "AG" Agricultural District which shall be exempt from this requirement. Except in the "AG" Agricultural District, garage doors shall not be visible from the front elevation of a house.]~~

A. For residences built prior to the incorporation of the City of Weldon Spring, which was on November 8, 1984, which have a front entry garage so long as the proposed addition complies with setback regulations and

BILL NO. _____

ORDINANCE NO. _____

the existing grade if the topography of the property prevents the construction of a side or rear entry garage.

B. For any residences in the "AG" Agricultural Zoning District; however, garage doors in the "AG" Agricultural Zoning District shall not be visible from the front elevation of a house.

For corner lots with two (2) front yards, a garage shall be considered side entry if the garage doors are oriented at a right angle to the front elevation of the house, even if the garage entry faces the adjacent street. Garages should conform architecturally to **that of** the principal building and its environs. Carports are not a permitted accessory structure to single-family dwellings or attached single-family villas in Single-family residential areas.

SECTION 2: That this ordinance shall be in full force and effect from and after its enactment and approval.

READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS _____ DAY OF _____ 2023.

Donald D. Licklider, Mayor

Attest:

William C. Hanks, City Clerk

BILL NO. _____

ORDINANCE NO. _____

To approve Bill

Motioned: _____

Seconded: _____

	<u>Aye</u>	<u>Nay</u>	<u>Abstention</u>
Baker	_____	_____	_____
Clutter	_____	_____	_____
Conley	_____	_____	_____
Kolb	_____	_____	_____
Martiszus	_____	_____	_____
Yeager	_____	_____	_____
Licklider	_____	_____	_____

Absent: _____

**AN ORDINANCE AMENDING SECTIONS 415.080 (J) AND 415.110 (A) OF
THE WELDON SPRING, MISSOURI, MUNICIPAL CODE
AND MATTERS RELATING THERETO**

WHEREAS, That Missouri cities of the fourth class, Weldon Spring being such, have the authority from time to time to amend, supplement, change, modify or repeal its regulations and restrictions pursuant to the provisions of Section 89.050 of the Missouri Revised Statutes; and

WHEREAS, The Board of Aldermen have recently become aware of the proliferation of business and other signs that should be reasonably regulated, as well as the need for clarification in regard to compliance and enforcement; and

WHEREAS, The Board of Aldermen have also become aware of business signs that have appeared on residential lots based upon an incentive to the residential lot owners; and

WHEREAS, said notices of public hearings were published at least fifteen (15) days in advance of the Public Hearing held by the Planning & Zoning Commission on November 6, 2023, and the Public Hearing held by the Board of Aldermen on November 9, 2023; and

WHEREAS, the Planning & Zoning Commission has recommended the following changes to Sections 415.080 (J) and 415.110 (A) to the Board of Aldermen for consideration; and

WHEREAS, the Board of Aldermen has taken up this matter based upon the recommendations made by the Planning & Zoning Commission of the City of Weldon Spring, Missouri.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI AS FOLLOWS:

SECTION 1: That Section 415.080 (J) of the Municipal Code is hereby amended as follows (added text is shown in boldface type, deleted text shown in ~~[bracket and stricken]~~ type):

415.080 Allowed Sign Uses.

J. Election Signs

1. Zoning. Residential and non-residential.
2. Permit/Fee. No permit required, except the permission of the property owner; no fee required.

3. Sign Area. Election signs shall have a maximum sign area of six (6) square feet, except those fronting on State or Federal highways may be thirty-two (32) square feet.
4. Duration. Election signs may be displayed forty (40) days prior to and five (5) days after any election held within St. Charles County.
5. Number. Not more than **two (2)** ~~[one (1)]~~ election signs per individual candidate, **which may include multiple candidates on one sign**, and/or proposition shall be permitted ~~[per twenty-five (25) feet width of]~~ **on** any lot.

SECTION 2: That Section 415.110 of the Municipal Code is hereby amended as follows (added text is shown in boldface type, deleted text shown in ~~[bracket and stricken]~~ type):

415.110 Enforcement; Violations And Penalties.

A. Enforcement

1. Notification. Once a sign is determined to be non-compliant, the owner or person in charge of the sign shall be notified by the City and informed that the sign must be removed or altered and/or repaired in a manner that will make the sign compliant.
2. Non-Compliant Permanent Signs. All non-compliant permanent signs shall be removed or brought into compliance by the owner within fifteen (15) days of notice by the City. If the owner fails to act after fifteen (15) days' notice to the owner of the property, such sign will be considered a violation, subject to the penalties described below.
3. Non-Compliant Temporary Signs. All non-compliant temporary signs on private property shall be removed or brought into compliance by the owner within three (3) days of notice by the City. If the owner fails to act after three (3) days' notice, such sign may be removed by the City, and the cost of the removal shall be charged to the owner of such sign. All non-compliant signs on road rights-of-ways are subject to immediate removal by the City without any notification
4. Prohibited Signs. All prohibited signs are subject to immediate removal by City staff without any notice or warnings being issued.
5. Sign Removal: ~~[All signs removed by City staff become City property and may be destroyed. The parties from whom the signs are taken will not be entitled to compensation or remuneration.]~~

BILL NO. _____

ORDINANCE NO. _____

- a. All signs removed by City staff become City property and may be destroyed. The parties from whom the signs are taken will not be entitled to compensation or remuneration.
 - b. Signs within the road right-of-way or which obstruct traffic view are subject to be removed summarily, without notice, by the City.
6. As Section 415.030 (D) – Off Premises., clearly restricts and limits off-premises signs, any business that is not in compliance with Section 415.030 (D) will be subject to enforcement procedures after a two-day notice from the City.

SECTION 3: That this ordinance shall be in full force and effect from and after its enactment and approval.

READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS _____ DAY OF _____ 2023.

Donald D. Licklider, Mayor

Attest:

William C. Hanks, City Clerk

BILL NO. _____

ORDINANCE NO. _____

To approve Bill

Motioned: _____

Seconded: _____

	<u>Aye</u>	<u>Nay</u>	<u>Abstention</u>
Baker	_____	_____	_____
Clutter	_____	_____	_____
Conley	_____	_____	_____
Kolb	_____	_____	_____
Martiszus	_____	_____	_____
Yeager	_____	_____	_____
Licklader	_____	_____	_____

Absent: _____

**AN ORDINANCE AMENDING SECTIONS 415.020, 415.080 (C)
AND 415.090 (B) (2) OF THE WELDON SPRING, MISSOURI,
MUNICIPAL CODE AND MATTERS RELATING THERETO**

WHEREAS, That Missouri cities of the fourth class, Weldon Spring being such, have the authority from time to time to amend, supplement, change, modify or repeal its regulations and restrictions pursuant to the provisions of Section 89.060 of the Missouri Revised Statutes; and

WHEREAS, said notices of public hearings were published at least fifteen (15) days in advance of the Public Hearing held by the Planning & Zoning Commission on November 6, 2023, and the Public Hearing held by the Board of Aldermen on November 9, 2023; and

WHEREAS, the Planning & Zoning Commission has recommended the following changes to Sections 415.020, 415,080 (C), and 415.090 (B) (2) to the Board of Aldermen for consideration; and

WHEREAS, the Board of Aldermen has taken up this matter based upon the recommendations made by the Planning & Zoning Commission of the City of Weldon Spring, Missouri.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI AS FOLLOWS:

SECTION 1: That Section 415.020 of the Municipal Code is hereby amended as follows (added text is shown in boldface type):

415.020 Definitions.

Electronic Billboard

Any structure or portion thereof upon which alphanumeric characters, graphics or symbols defined by a small number of matrix elements using different combinations of light emitting diodes (LEDs), fiber optics, light bulbs or other illumination devices within the display area, including computer programmable, microprocessor controlled electronic displays and projected images or messages with these characteristics are utilized to advertise a person, thing, product or service not located or sold on the lot upon which the electronic billboard is placed.

SECTION 2: That Section 415.080 (C) of the Municipal Code is hereby amended as follows (added text is shown in boldface type, deleted text shown in [~~bracket and stricken~~] type):

415.080 Allowed Sign Uses.

C. Billboards/**Electronic Billboards**

1. **Billboards and electronic billboards shall comply with Missouri State law and Federal law.**
2. **Abandoned billboards/electronic billboards. Where a billboard structure does not include advertising information for the use of the billboard for a period of one hundred twenty (120) continuous calendar days, the billboard structure shall be deemed in violation of this Ordinance and shall be removed.**
- ~~1.~~ 3. **Zoning. Non-residential only. A billboard may only be placed on lands zoned "PC" Planned Commercial District or "LI" Light Industrial District.**
- ~~2.~~ 4. **Location. All billboards must be located within six hundred sixty (660) feet of the nearest edge of the right-of-way of an interstate or primary highway (as defined by the Missouri Department of Transportation), and the interstate or primary highway must not be a scenic roadway.**
- ~~3.~~ 5. **State Statutes. The billboard shall, at a minimum, comply with all provisions of Sections 226.500 through 226.600, RSMo., as to size, lighting and other considerations.**
- ~~4.~~ 6. **Size, Height And Mounting. The size, height and mounting of billboards shall be regulated by the following:**
 - a. The maximum area for any one (1) sign shall be eight hundred (800) square feet with a maximum height of thirty (30) feet and a maximum length of seventy-two (72) feet, inclusive of border and trim, but excluding the base or apron, supports and other structural members.
 - b. The maximum height of a billboard shall not exceed forty-five (45) feet above the natural grade where the sign is installed.
 - c. No sign shall be located on the roof of a building or on a non-sign structure.
 - d. Billboards may not be stacked such that a billboard sign face is placed immediately above or below another billboard sign face.
- ~~5.~~ 7. **Fall Line Requirements. Any person, firm, partnership or corporation erecting or constructing a billboard shall provide a fall line equal to the height of said structure in a three-hundred-sixty-degree radius where no other structure or parking area is currently or in the future will be located.**
- ~~6.~~ 8. **Separation Requirements. No billboard or any part of the billboard structure shall be erected:**
 - a. Within fifty (50) feet of the property line of the lot on which the billboard structure is located;

- b. Within two hundred (200) feet of any residentially zoned property;
 - c. Within fifty (50) feet of any existing building or parking area;
 - d. Within two hundred (200) feet of any park, playground, school, library or place of worship;
 - e. Within fifty (50) feet of an overhead power line;
 - f. Within one thousand four hundred (1,400) feet of another billboard.
- ~~7.~~ **9. Permits.** A permit from the City is required to erect a billboard, but no permit to allow a billboard to be newly erected shall be issued by the City without a permit issued by the Missouri Highways and Transportation Commission.
- ~~8.~~ **10. Inspection Reports.** Whenever a billboard is erected or maintained within the City, the owner of such billboard shall cause an inspection of it by a civil engineer at least every five (5) years, and a copy of the inspection report shall be submitted to the City Administrator.

11. Standards for Electronic Billboards

- a. Location and Spacing.** Electronic billboards shall meet all requirements for location and spacing found in Section 415.080.C Billboards/Electronic Billboards except that:
- 1. No electronic billboard shall be erected, located or placed within two thousand six hundred forty (2,640) feet of another electronic billboard on either side of Interstate Highway 64. This distance shall be measured along the nearest edge of the pavement at points directly opposite the electronic billboard along each side of the highway and shall apply to electronic billboards located on either side of the highway in computing the distance between electronic billboards.**
 - 2. No electronic billboard shall be erected, located, or placed within six hundred sixty (660) feet of the nearest edge of the right-of-way of State Highway 94.**
 - 3. No electronic billboard shall be located within two hundred fifty (250) feet of an existing on-premise monument electronic display sign.**
- b. Duration of Message.** The electronic billboard image of any portion thereof shall have a minimum duration of at least ten (10) seconds and shall be a static display. No portion of the image may flash, scroll, twirl, change color, or in any manner imitate movement.

- c. **Transition of Message.** Where the electronic billboard image or any portion thereof changes, the change sequence shall only be accomplished by means of instantaneous re-pixelization.
- d. **Video Display Prohibited.** No portion of any electronic billboard may change its message or background in a manner or by a method of display characterized by motion or pictorial imagery, or depict action or a special effect to imitate movement, or the presentation of pictorials or graphics displayed in a progression of frames that give the illusion of motion or the illusion of moving objects, moving patterns or bands of light or expanding or contracting shapes.
- e. **Brightness and Illumination.**
 - 1. **Brightness.** The electronic billboard sign shall not exceed a minimum of five thousand (5,000) nits (candelas per square meter) during daylight hours and a maximum illumination of four hundred (400) nits (candelas per square meter) between sundown and sunrise measured from the sign's face at maximum brightness.
 - 2. **Fluctuating or Flashing Illumination.** No portion of any electronic billboard may fluctuate in light intensity or use intermittent, strobe or moving light or light that changes in intensity in sudden transitory bursts, streams, zooms, twinkles, sparkles, or that in any manner creates the illusion of movement.
 - 3. **Dimmer Control.** Electronic billboards shall be equipped with an automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level for the time period between sundown and sunrise.
- f. **Audio.** Audio speakers are prohibited in association with an electronic billboard.
- g. **Text Size Requirements.** Every line of copy and graphics displayed on an electronic billboard shall be at least twelve (12) inches in height on a road with a speed limit of forty-five (45) miles per hour or greater and fifty-four (54) miles per hour or less, and at least fifteen (15) inches in height on a road with a speed limit of fifty-five (55) miles per hour or greater.
- h. **Malfunction and Non-Compliance.** Electronic billboards shall be designed and equipped to freeze the device in one (1) position if a malfunction occurs. The electronic billboards shall be equipped with a means to immediately discontinue the display if it malfunctions, and the sign owner shall immediately stop the dynamic display when notified by the City that it is not complying with standards of this code.

- i. **Provision of Community and Public Service Messaging.** The owner of an electronic billboard shall enter into an agreement with the City to provide the City no less than five (5) hours [one thousand eight hundred (1,800) ten (10) second spots] per month per electronic billboard in the City or community and public service messages at such times as shall be determined by the City.
- j. **I-64 Corridor Billboard Replacement.** The owner of a billboard existing on the effective date of this Section may, by application which must meet all current applicable billboard/electronic billboard regulations, relocate the billboard structure for the purpose of installing an electronic billboard; provided all the following performance standards are satisfied:
 1. The property upon which the billboard is located shall be directly adjacent to Interstate 64 right-of-way;
 2. All existing billboards and on-premise monument electronic display signs and their supporting structures shall be permanently removed from the property upon which the electronic billboard is to be located prior to the issuance of a Multi-Purpose Land Use (Sign) Permit for the electronic billboard;
 3. No on-premise monument electronic display sign or billboards shall be located on the property upon which an electronic billboard is located;
 4. The electronic billboard shall be located on the same property, within the property boundaries existing upon the effective date of this Section, and within two hundred fifty (250) feet of the existing billboard being replaced;
 5. The property upon which the electronic billboard is located shall consist of a lot not less than five (5) acres in size.
 6. The maximum number of sign faces or surfaces permitted on the electronic billboard shall not exceed two (2).

SECTION 3: That Section 415.090 (B) (2) of the Municipal Code is hereby amended as follows (added text is shown in boldface type, deleted text shown in ~~[bracket and stricken]~~ type):

415.090 Permits, Fees, And Variances.

B. Fees. Fees are required for all sign permits, unless otherwise noted in Section 415.070 or 415.080. The fee for sign permits shall be two dollars (\$2.00) per

BILL NO. _____

ORDINANCE NO. _____

square foot of sign area except that:

1. The minimum fee for any sign permit shall be thirty dollars (\$30.00);
2. For a billboard the City shall charge a[n-initial] fee of five hundred dollars (\$500.00) for the [initial] inspection to assure compliance with the City wind load and electrical requirements when the sign is first erected [~~and shall charge a one hundred dollar annual business tax for the inspection of such sign~~].

SECTION 4: That this ordinance shall be in full force and effect from and after its enactment and approval.

READ TWO TIMES AND PASSED BY THE BOARD OF ALDERMEN OF THE CITY OF WELDON SPRING, MISSOURI, THIS _____ DAY OF _____ 2023.

Donald D. Licklider, Mayor

Attest:

William C. Hanks, City Clerk

BILL NO. _____

ORDINANCE NO. _____

To approve Bill

Motioned: _____

Seconded: _____

	<u>Aye</u>	<u>Nay</u>	<u>Abstention</u>
Baker	_____	_____	_____
Clutter	_____	_____	_____
Conley	_____	_____	_____
Kolb	_____	_____	_____
Martiszus	_____	_____	_____
Yeager	_____	_____	_____
Licklider	_____	_____	_____

Absent: _____